

PROPOSED SITE PLAN DOCUMENTS

FOR



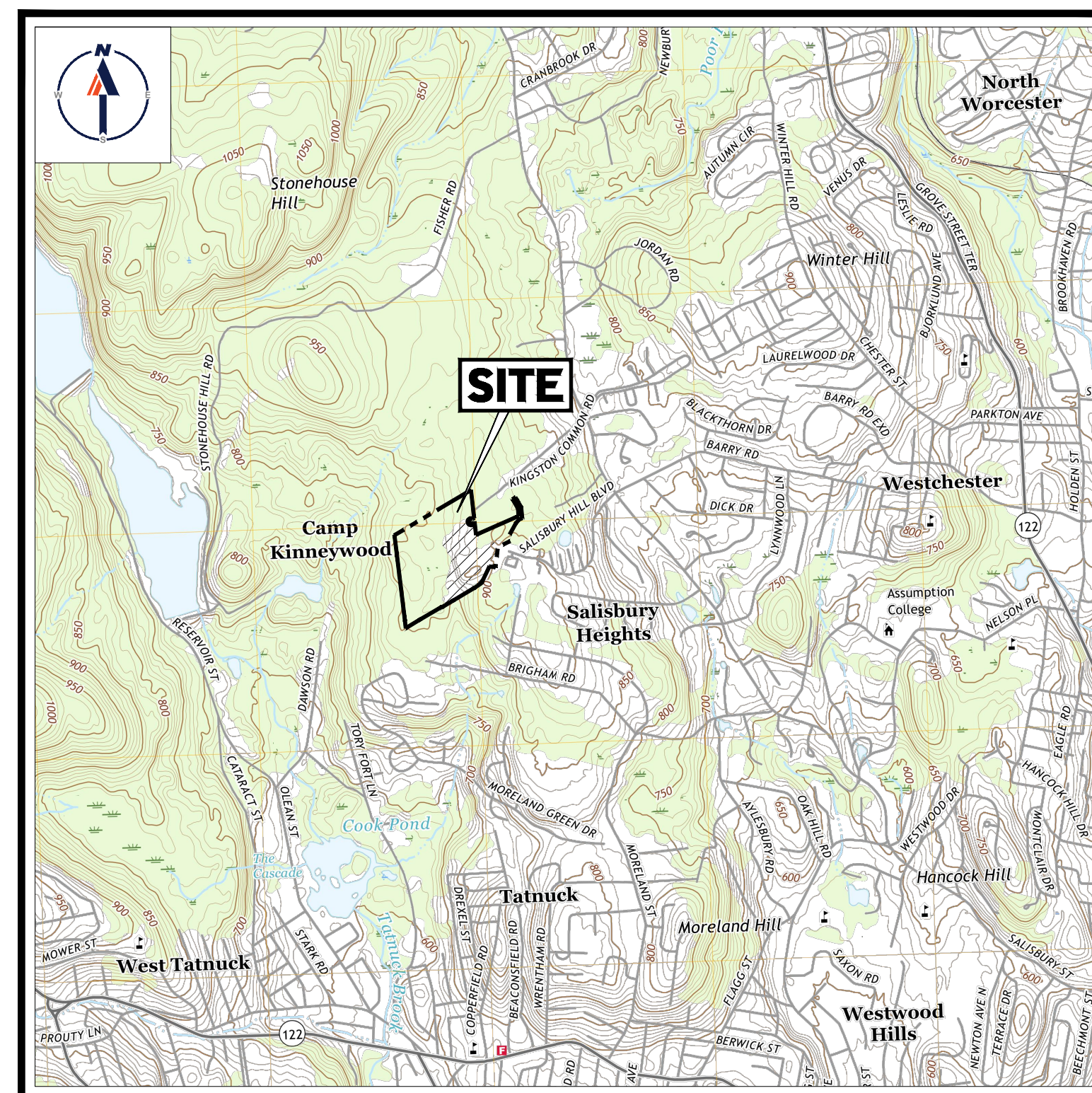
PROPOSED SALISBURY HILL

LOCATION OF SITE

SALISBURY HILL BOULEVARD, CITY OF WORCESTER

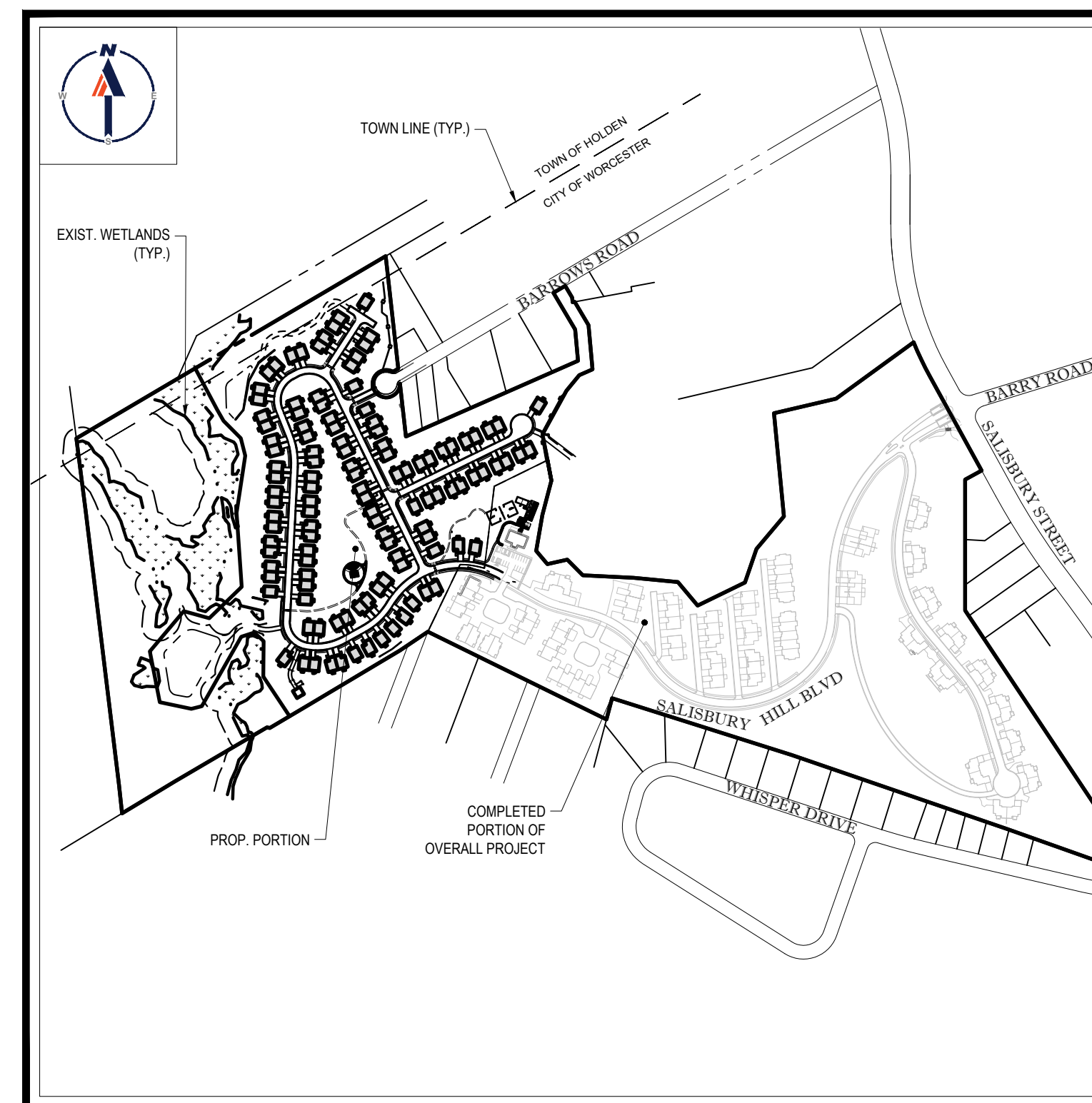
WORCESTER COUNTY, MASSACHUSETTS

MAP #50, LOT #023, BLOCK CONDO (A.K.A. ACCOUNT 43389)



USGS MAP

SCALE: 1" = 2,000'
SOURCE: MILFORD MASSACHUSETTS USGS QUADRANGLES



SITE MAP

SCALE: 1" = 500'

PREPARED BY

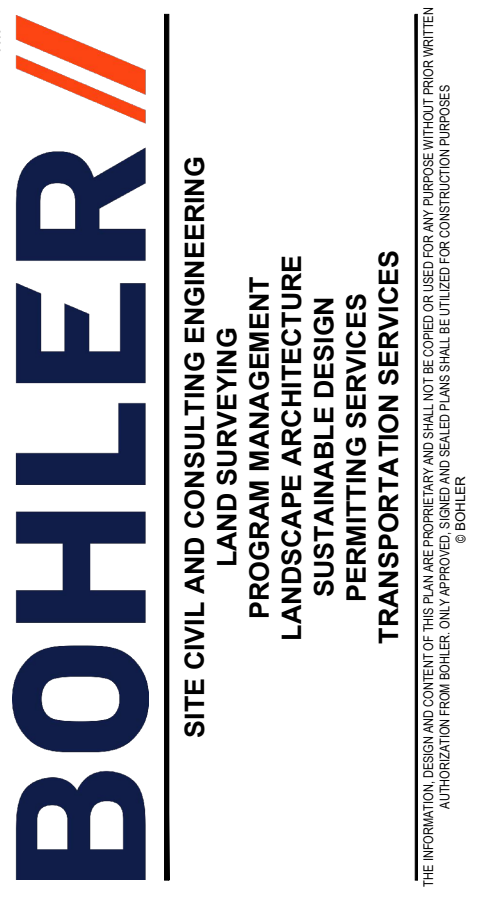


OWNER:
SALISBURY HOLDINGS, LLC
259 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

APPLICANT:
SALISBURY HOLDINGS, LLC
259 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

ENGINEER:
BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

SURVEYOR:
CONTROL POINT ASSOCIATES, INC
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	08/21/20	PEER REVIEW / CITY COMMENTS		CFD/AS NEM
2	09/09/20	PER CITY STAFF COMMENTS		AJS NEM
3	11/12/2020	PER CITY STAFF COMMENTS		AJS NEM
4	04/09/2021	PER CITY STAFF COMMENTS		AJS JK/NM
5	03/07/2024	PB AMENDMENT		CFD JK/NM



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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 08/22/2020
CAD I.D.: W171219_S58

PROJECT:
PROPOSED SITE PLAN DOCUMENTS

FOR
CAPITAL GROUP PROPERTIES
SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com



SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101

REVISION 5 - 03/07/2024

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN.

- * BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 12/18/18, REVISED THRU 01/17/19.
* APPROVAL NOT REQUIRED PLAN OF LAND, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/10/2023.
* TRAFFIC IMPACT ASSESSMENT, PREPARED BY TEC, DATED 06/20/19.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/HIS HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

4. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE 2010 AMERICANS WITH DISABILITIES ACT (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REGULATIONS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER IN WRITING OF ANY CONFLICT, DISCREPANCY OR AMBIGUITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS OF "RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND BUILDING UTILITIES. THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OTHER CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT LIMITED TO, THE COSTS OF REPAIRS, MATERIALS, LABOR, AND OVERHEADS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO AND ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT OR BETTER THAN THAT OF THE ORIGINAL CONSTRUCTION AND, IN CONNECTION WITH SAME, CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF WORK AND TO MAINTAIN A CLEAN COPY OF THE SAME.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY SUBJECT OF ENGINEERS SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY WHERE JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVAANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTORS LIABILITY COVERAGE. THIS POLICY COVERAGE MUST BE MAINTAINED THROUGHOUT THE TERM OF THE PROJECT AND THROUGHOUT THE PROJECT. CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE AND TO COMPLY WITH WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL BE HELD UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVAANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR FROM THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTED, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT, AS SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. HEREUNDER, BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVAANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTORS PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO JOINTLY AND SEVERALLY HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT POINT OF CONNECTION AND PROCEED UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION. AT NO COST TO THE OWNER, CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGE TO ANY EXISTING UTILITIES AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP CONNECTIONS, AND OTHER ACCESS, AND APPURTENANCES INCLUDING, BUT NOT LIMITED TO, THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTH ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, AND FURTHER IS RESPONSIBLE FOR COORDINATING THE UTILITY RE-INSTALLATIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS OUTLINED IN THE GEOTECHNICAL REPORT, MOISTURE CONTENT AT THE TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL REGULATIONS, LAWS, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER OR OWNER/DEVELOPERS REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THEREOF.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

12. THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF JOINT BUITS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTINUOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2x4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT SLOPES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTORS OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS FEES AND THE LIKE, WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY A ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD AJDUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IF ITS CONTRACTORS OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

22. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT JOINT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ADRP 900R AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

23. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
• FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
• FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
• FOR PIPE WITHIN 19 FT. OF BUILDING, PPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

24. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

25. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

26. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL, OR SLP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSING UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

27. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

28. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

29. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

30. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- * BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 12/18/18, REVISED THRU 01/17/19.
* APPROVAL NOT REQUIRED PLAN OF LAND, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/10/2023.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED, THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES WORKING ON THIS PROJECT, WITH BOHLER ENGINEERING PRIOR TO COMMENCING CONSTRUCTION, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:

- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITY. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATING WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

J. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

K. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTORS REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTORS SOLE EXPENSE.

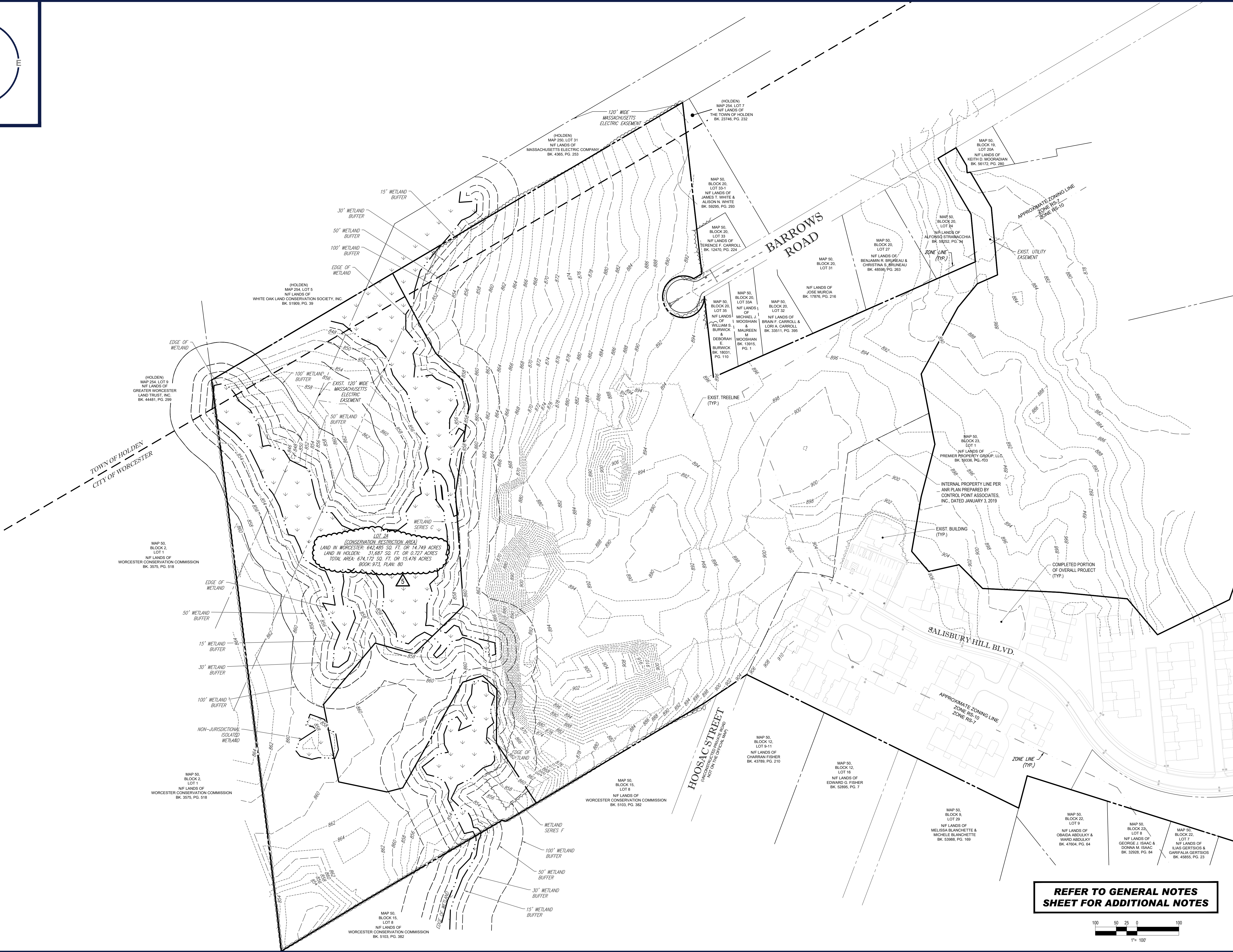
L. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNERS STRUCTURAL OR GEOTECHNICAL ENGINEER.

M. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO PROVIDE NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

N. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO

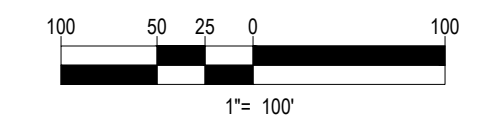


C:\PROGRAMDATA\BOHLER\32022\NETEMPAC\PUBLISH_38958\W11219_S581...LAYOUT: C-201\EXCOND



LOT 2A
(CONSERVATION RESTRICTION AREA)
LAND IN WORCESTER: 642,485 SQ. FT. OR 14.749 ACRES
LAND IN HOLDEN: 11,987 SQ. FT. OR 0.272 ACRES
TOTAL AREA: 674,172 SQ. FT. OR 15.476 ACRES
BOOK 973, PLAN 80

**REFER TO GENERAL NOTES
SHEET FOR ADDITIONAL NOTES**



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS
2	09/09/20	PER CITY STAFF COMMENTS	AJS
3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	AJS
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 02/22/2020
CAD ID: W171219_S58

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

J. KUCIACH
Professional Engineer
No. 2416
MASS. LICENSE NO. 2253

SHEET TITLE:
OVERALL EXISTING CONDITIONS PLAN

SHEET NUMBER:
C-201

REVISION 5 - 03/07/2024



LOT 24
(CONSERVATION RESTRICTION AREA)
LAND IN WORCESTER: 642,485 SQ. FT. OR 14.749 ACRES
LAND IN HOLDEN: 31,887 SQ. FT. OR 0.727 ACRES
TOTAL AREA: 674,372 SQ. FT. OR 15.476 ACRES
BOOK: 973, PLAN: 80

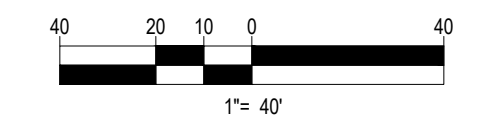
LIMIT OF EXISTING
CONSERVATION
RESTRICTION AREA
(15.5 ACRES)

MAP 50,
BLOCK 15,
LOT 8
N/F LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 5103, PG. 382

MAP 50,
BLOCK 12,
LOT 9-11
N/F LANDS OF
CHARRAN FISHER
BK. 43789, PG. 210

MAP 50,
BLOCK 15,
LOT 8
N/F LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 5103, PG. 382

**REFER TO GENERAL NOTES
SHEET FOR ADDITIONAL NOTES**



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
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5	03/07/2024	PB AMENDMENT	CFD	JKNM

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 03/22/2020
CAD ID: W171219_S58

PROJECT:
**PROPOSED SITE
PLAN DOCUMENTS**

FOR

CAPITAL GROUP
PROPERTIES

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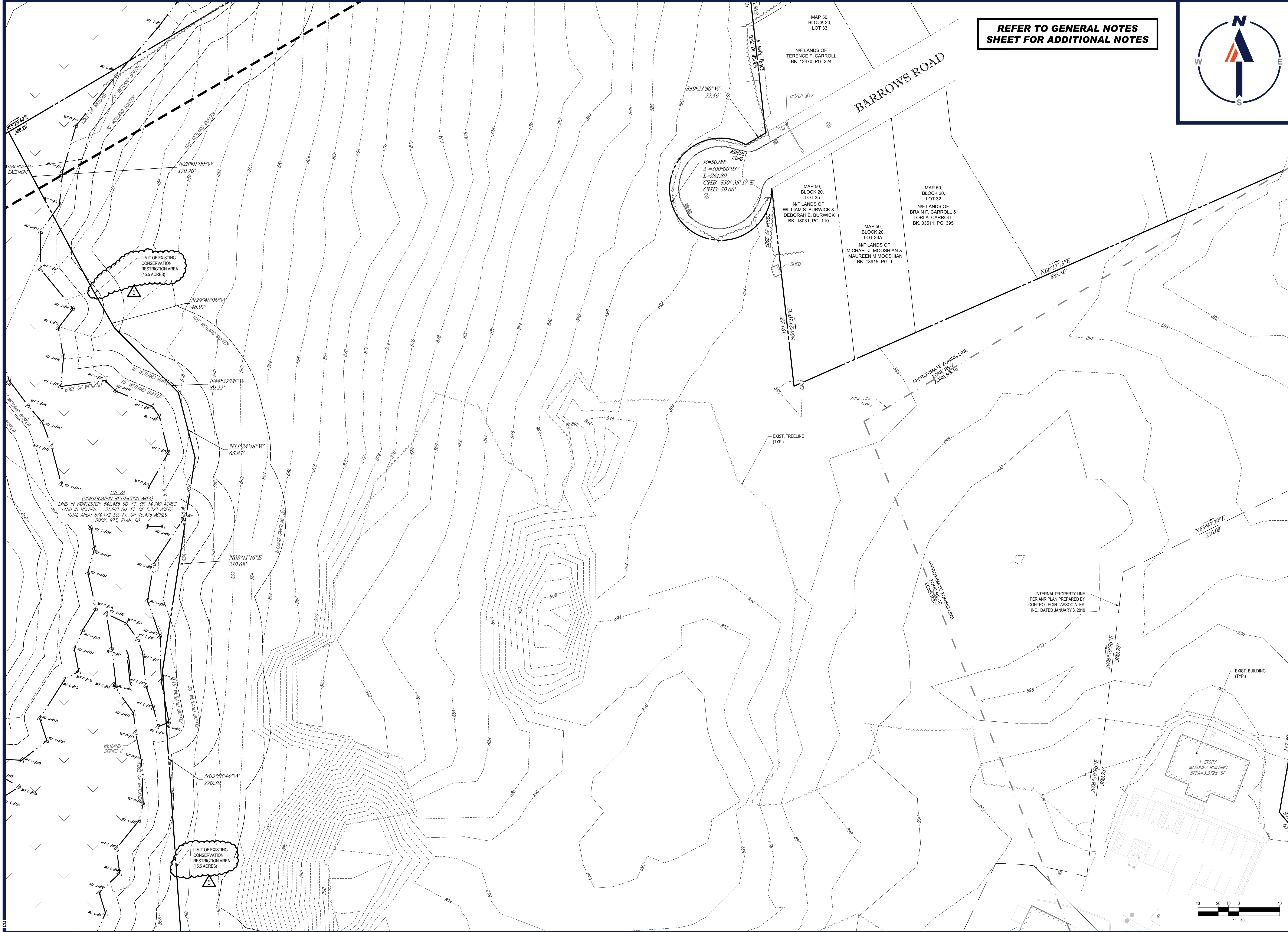
J. KUGICH
JOHN KUGICH
REGISTERED PROFESSIONAL ENGINEER
NEW HAMPSHIRE LICENSE NO. 15474
COMMONWEALTH OF MASSACHUSETTS LICENSE NO. 26177
PHONE: (508) 885-2618
MOBILE LICENSE NO. 22553

SHEET TITLE:
**EXISTING
CONDITIONS
PLAN A**

SHEET NUMBER:
C-202

REVISION 5 - 03/07/2024

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REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
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 TRANSPORTATION SERVICES

REVISIONS

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PROPOSED SITE PLAN DOCUMENTS



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BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
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J. KUCIACH
 JOHN KUCIACH
 PROFESSIONAL ENGINEER
 LICENSE NO. 20177
 EXPIRES 12/31/2024
 MAINE LICENSE NO. 2253

SHEET TITLE:
EXISTING CONDITIONS PLAN B

SHEET NUMBER:
C-203

REVISION 5 - 03/07/2024

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REFER TO GENERAL NOTES
SHEET FOR ADDITIONAL NOTES



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REVISIONS

REV	DATE	COMMENT	CREATED BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS
2	09/09/20	PER CITY STAFF COMMENTS	AJS
3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	AJS
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 02/22/2020
CAD ID: W171219_S58

PROPOSED SITE PLAN DOCUMENTS

FOR
CAPITAL GROUP PROPERTIES
SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

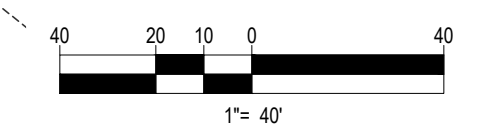
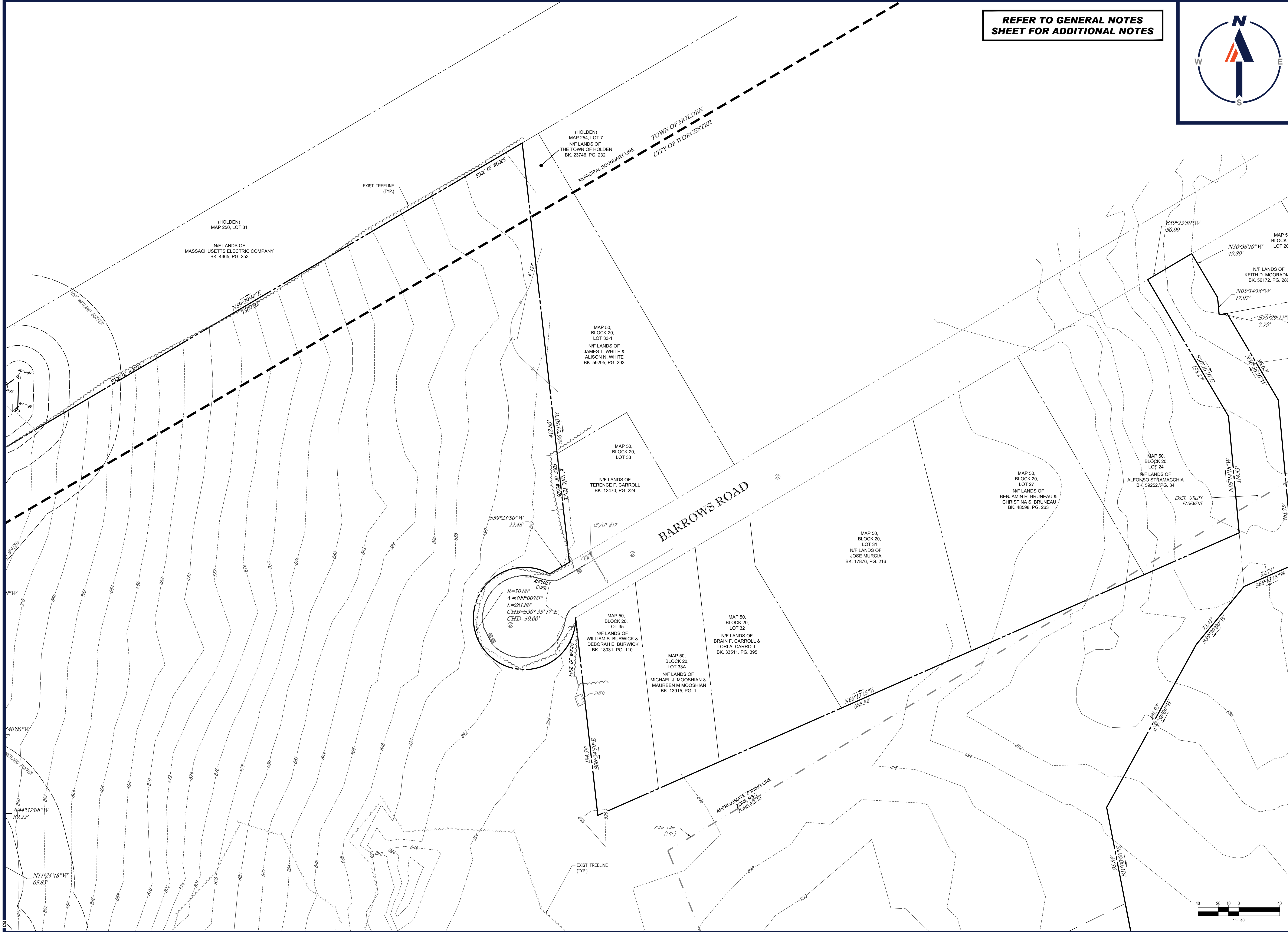
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J. KUCIACH
JOHN KUCIACH
REGISTERED PROFESSIONAL ENGINEER
NEW HAMPSHIRE LICENSE NO. 21547
CONNECTIONS: 20177
PHONE: (603) 882-2418
MOBILE LICENSE NO. 22553

EXISTING CONDITIONS PLAN C

SHEET NUMBER:
C-204

REVISION 5 - 03/07/2024



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ZONING ANALYSIS TABLE			
ZONING DISTRICT	RS-7 AND RS-10 (1)		
OVERLAY DISTRICT	NONE		
REQUIRED PERMIT	CCRC SPECIAL PERMIT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	5 ACRES	86.12 ACRES (2)	NO CHANGE (2)
MIN. LOT WIDTH	65 FT	284.3 FT (BARROWS RD.)	NO CHANGE (2)
MIN. LOT IRREGULARITY	0.4	0.31 (E)	NO CHANGE (2)
MIN. FRONT SETBACK	20 FT	226 FT (6)	40.7 FT (UNIT 4)
MIN. SIDE SETBACK	8 FT	21 FT (6)	21 FT (EXIST.)
MIN. REAR SETBACK	50 FT	25 FT (6)	40.7 FT (UNIT 1)
MAX. BUILDING HEIGHT	35 FT / 2 STORIES	35 FT (6)	30 FT (A STYLE UNIT) 27.5 FT (B STYLE UNIT) 27 FT (C STYLE UNIT)
MIN. FAR (RS-7 / RS-10)	0.4 TO 1 / 0.3 TO 1	<0.4 TO 1 / <0.3 TO 1	<0.4 TO 1 / <0.3 TO 1
MIN. OPEN SPACE	10.9 AC (4)	N/A	15.5 AC (5)
PERCENT OPEN SPACE (2)	25%	65% (6)	70% (2)
PERCENT NATURAL VEGETATION IN OPEN SPACE (2)	75%	91% (6)	92% (2)
UNITS ALLOWED	727 (6)	84	117 UNIT INCREASE / 201 TOTAL
UNIT CRITERIA (6)	USE/CATEGORY: RESIDENTIAL RS-7 AND RS-10 ZONES CALCULATION (RS-10): (1,879,185(2) (0.8)) / 10,000 = 300 UNITS ALLOWED CALCULATION (RS-7): (1,872,182(2) (0.8)) / 7,000 = 427 UNITS ALLOWED TOTAL ALLOWED UNITS: 727 UNITS ALLOWED		
ACCESS: PARKING SPACES	117	N/A	468
PARKING STALL CRITERIA	USE/CATEGORY: RESIDENTIAL RS-7 ZONE CALCULATION: 1 SPACE / UNIT x 117 UNITS = 117 SPACES 2 GARAGE SPACES / UNIT x 117 UNITS = 234 2 DRIVEWAY SPACES / UNIT x 117 UNITS = 234 468 SPACES PROVIDED		

- (1) - CCRC REQUIREMENTS USED IN LIEU OF CONVENTIONAL DIMENSIONAL REQUIREMENTS
 (2) - INCLUDES ENTIRE PROJECT.
 (3) - CLOSEST SIDE YARD SETBACK FOR NEWLY PROPOSED UNITS IS 34.9 FT (UNIT 61)
 (4) - AS REQUIRED UNDER PREVIOUS CCRC SPECIAL PERMIT APPROVAL
 (5) - TOTAL ACRES OF OPEN SPACE TO BE INCLUDED IN PROPOSED CONSERVATION RESTRICTION.
 (6) - PER PLAN TITLED SALISBURY HILL CONTINUING CARE RETIREMENT COMMUNITY PREPARED BY THOMPSON LISTON

KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 09/22/2020
 CAD ID: W171219_SSS

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP
 PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900

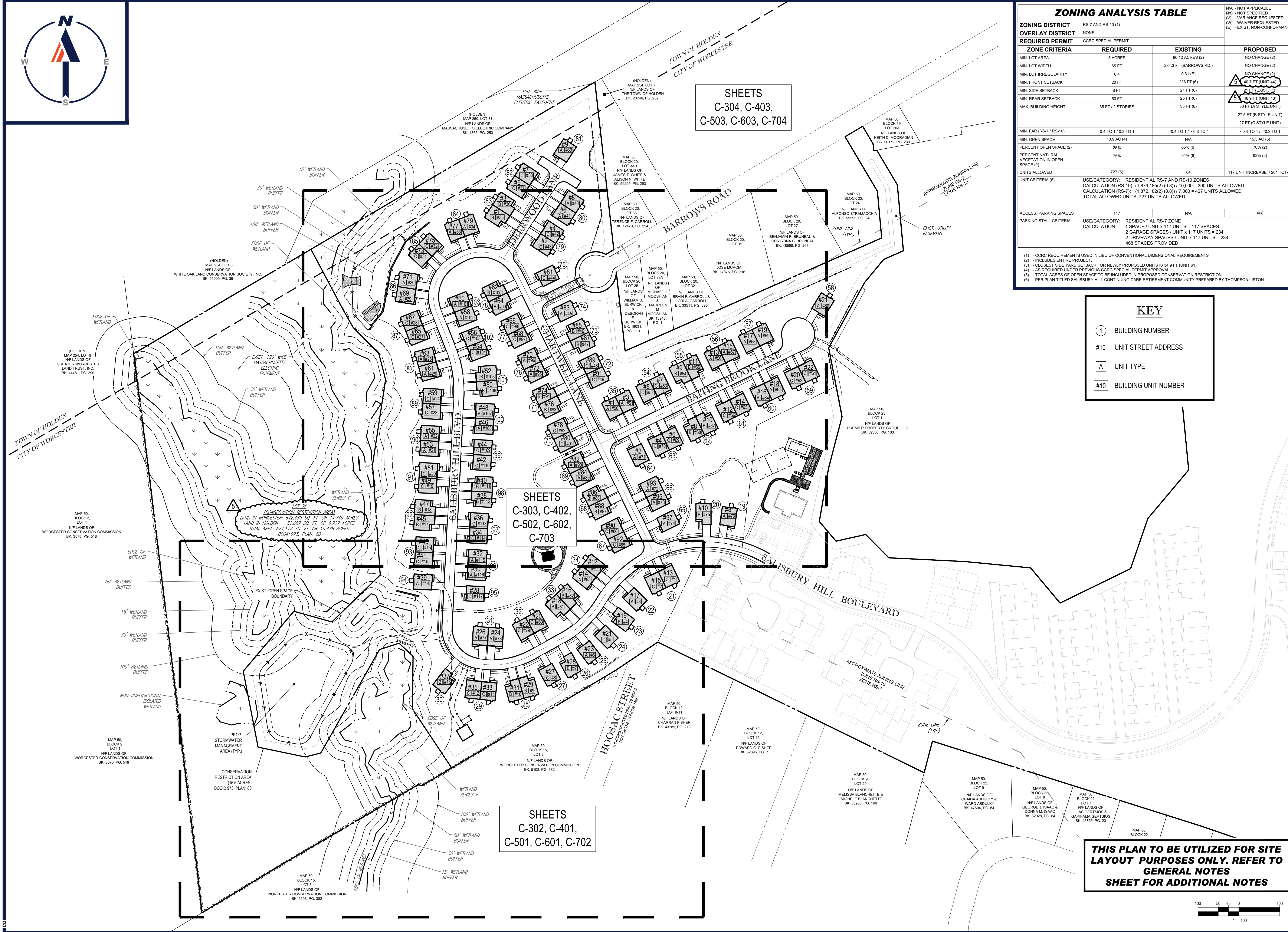
www.BohlerEngineering.com

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 CIVIL
 MASSACHUSETTS
 LICENSE NO. 21527
 EXPIRES 12/31/2024
 DONNA M. ISAAC
 MAPPING LICENSE NO. 22553

SHEET TITLE:
OVERALL SITE PLAN & SHEET INDEX

SHEET NUMBER:
C-301

REVISION 5 - 03/07/2024

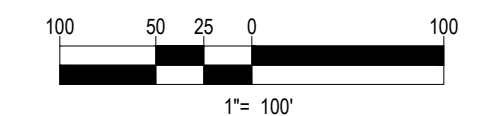


SHEETS
 C-304, C-403,
 C-503, C-603, C-704

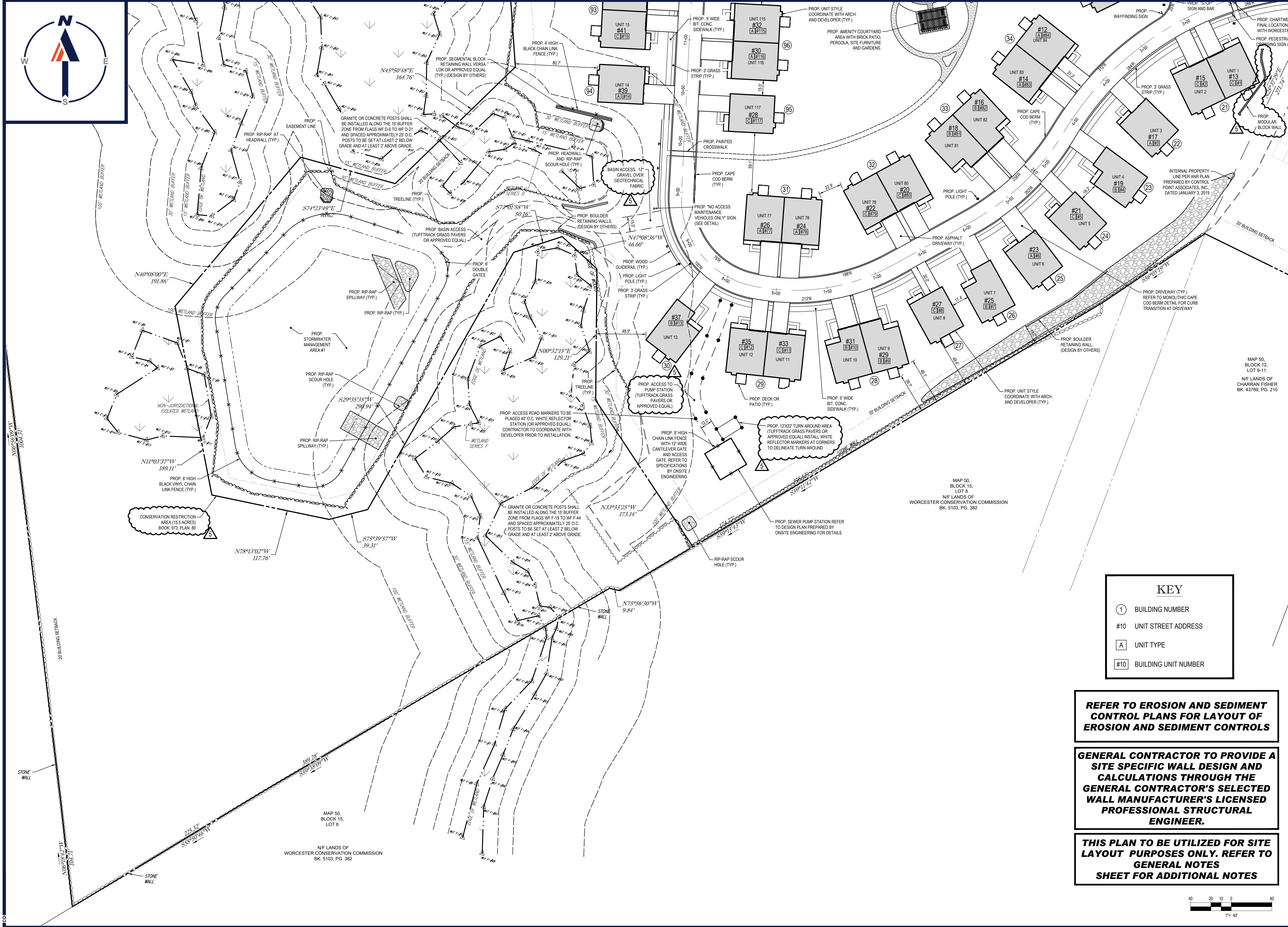
SHEETS
 C-303, C-402,
 C-502, C-602,
 C-703

SHEETS
 C-302, C-401,
 C-501, C-601, C-702

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



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4	04/09/2021	PER CITY STAFF COMMENTS	AJS
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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 09/22/2020
 CAD ID: W171219_S58

PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER

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 Phone: (508) 480-9900
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SHEET TITLE:

SITE PLAN A

SHEET NUMBER:
C-302

REVISION 5 - 03/07/2024

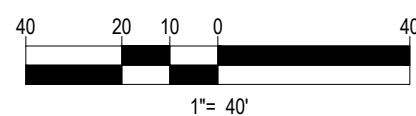
KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

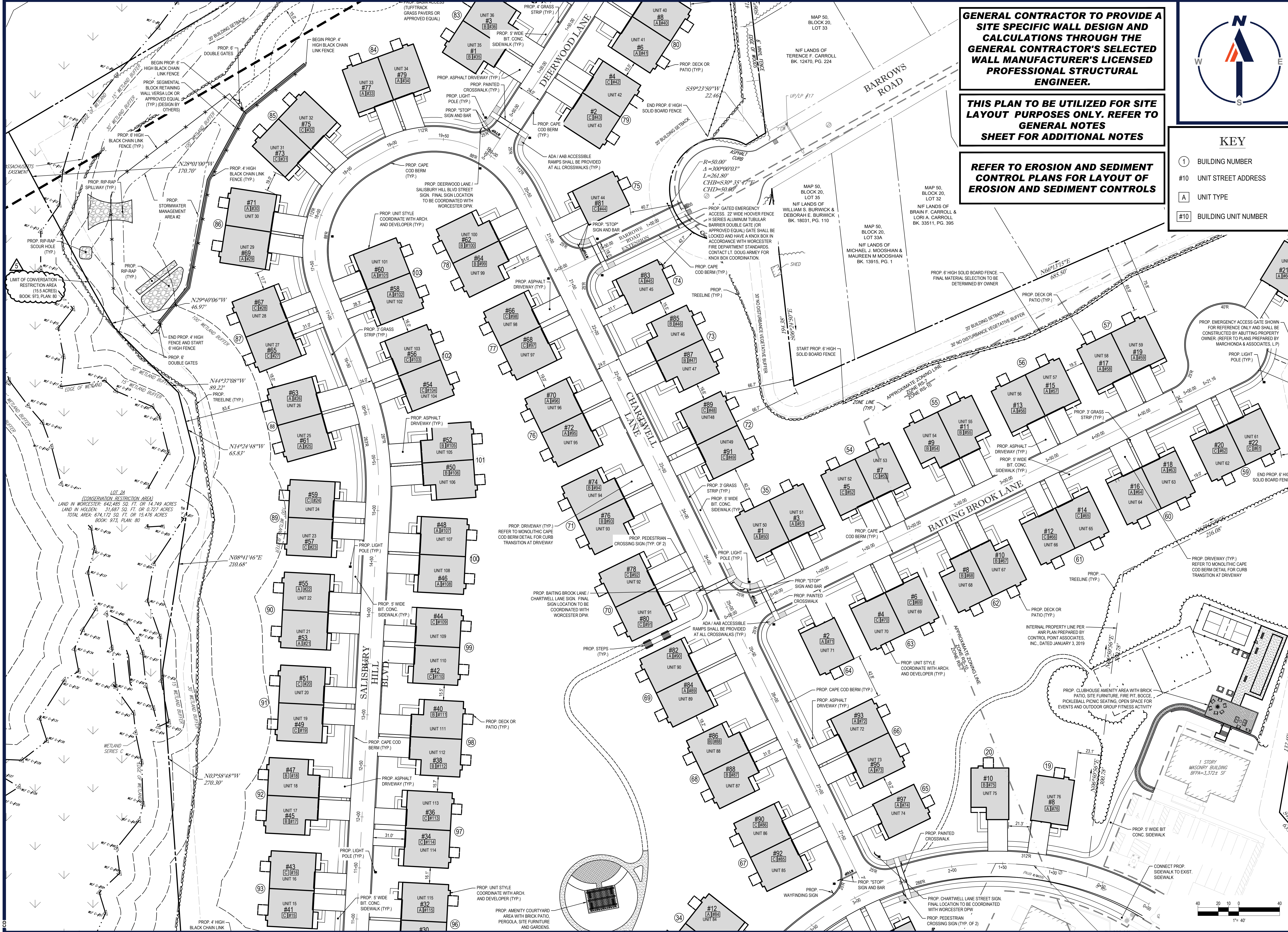
REFER TO EROSION AND SEDIMENT CONTROL PLANS FOR LAYOUT OF EROSION AND SEDIMENT CONTROLS

GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



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GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES

REFER TO EROSION AND SEDIMENT CONTROL PLANS FOR LAYOUT OF EROSION AND SEDIMENT CONTROLS



KEY

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- A UNIT TYPE
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REVISIONS

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4	04/09/2021	PER CITY STAFF COMMENTS	JKNM
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT: PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

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 JOHN KUCIACH
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 NEW HAMPSHIRE REG. NO. 10477
 MASSACHUSETTS REG. NO. 18624
 MIDDLE LICENSE NO. 22553

SHEET TITLE:
SITE PLAN B

SHEET NO.:
C-303

REVISION 5 - 03/07/2024

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CONSTRUCTION PHASING NOTES

- THE PLAN IS INTENDED TO SHOW THE GENERAL CONSTRUCTION PHASING THAT IS ENVISIONED FOR THE PROJECT. PHASES CAN OVERLAP ONE ANOTHER AS NECESSARY.
- REFER TO INDIVIDUAL PHASING PLANS FOR ADDITIONAL INFORMATION AND NOTES REGARDING EACH PHASE.
- THE PURPOSE OF THIS PLAN IS TO AMEND THE ORIGINAL PROJECT PHASING PLAN DATED APRIL 10, 2002 BY THOMPSON-LISTON ASSOCIATES, INC. BY THE ADDITION OF AN ADDITIONAL PHASE, THE RECONFIGURATION OF BUILDING LOCATIONS AND LAYOUT AND A REDUCTION IN THE TOTAL NUMBER OF RESIDENTIAL UNITS FROM 280 TO 203.
- THE AREA MARKED AS CONSERVATION PARCEL SHALL NOT BE PHASED INTO THE CONDOMINIUM AND SHALL BE SUBJECT TO A PERPETUAL CONSERVATION RESTRICTION.

PHASE III

- APPROXIMATELY 6.5 ACRES
- 23 UNITS
- APPROXIMATELY 2,000 LF OF GRAVITY SEWER
- SEWER PUMP STATION
- APPROXIMATELY 300 LF OF SANITARY FORCE MAIN
- SEWER & WATER CONNECTION TO SALISBURY HILL BOULEVARD
- CONSTRUCTION OF SALISBURY HILL BOULEVARD STA 15+00 TO STA 10+20(a)
- CONSTRUCTION OF CHARTWELL LANE STA 21+91(e) TO STA 28+10.4(a)
- CONSTRUCTION OF BAITING BROOK LANE STORMWATER MANAGEMENT AREA #1
- CONSTRUCT GROUP AMENITIES BEHIND AND ADJACENT TO THE CLUBHOUSE.

PHASE VI

- APPROXIMATELY 8.3 ACRES
- 33 UNITS
- APPROXIMATELY 1,635 LF OF GRAVITY SEWER
- WATER CONNECTION TO BARROWS ROAD
- CONSTRUCT PORTION OF SALISBURY HILL BOULEVARD STA 15+75(a) TO STA 20+00(a)
- CONSTRUCTION OF CHARTWELL LANE STA 20+00(e) TO STA 21+91(e)
- CONSTRUCT DEERWOOD LANE STORMWATER MANAGEMENT AREA #2
- CONSTRUCTION OF PERGOLA AREA WITH SITE FURNITURE AND OTHER AMENITIES BEHIND UNITS 105-107

PHASE IV

- APPROXIMATELY 4.1 ACRES
- 22 UNITS

PHASE VII

- APPROXIMATELY 3.7 ACRES
- 24 UNITS
- CONSTRUCT REMAINING PORTION OF SALISBURY HILL BOULEVARD STA 10+20(a) TO STA 15+75(a)
- CONSTRUCTION OF PERGOLA AREA WITH SITE FURNITURE AND OTHER AMENITIES BEHIND UNITS 105-117

PHASE V

- APPROXIMATELY 4.6 ACRES
- 15 UNITS

KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

REFER TO EROSION AND SEDIMENT CONTROL PLANS

CONTRACTOR TO COORDINATE INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES WITH UTILITY PROVIDERS TO ACCOMMODATE EACH PHASE ACCORDINGLY TAKING IN TO ACCOUNT CONNECTIONS OF FUTURE PHASES.



REVISIONS				
REV	DATE	COMMENT	DESIGNED BY	CHECKED BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS	NEM
2	09/09/20	PER CITY STAFF COMMENTS	AJS	NEM
3	11/12/20	PER CITY STAFF COMMENTS	AJS	NEM
4	04/09/2021	PER CITY STAFF COMMENTS	AJS	JK/NM
5	03/07/2024	PB AMENDMENT	CFD	JK/NM



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PROJECT No.: W171219
 DRAWN BY: AJS/C/MC
 CHECKED BY: NEM/JAK
 DATE: 02/22/2020
 CAD ID: W171219_S88_PHASE

PROPOSED SITE PLAN DOCUMENTS

FOR



SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS



352 TURNPIKE ROAD
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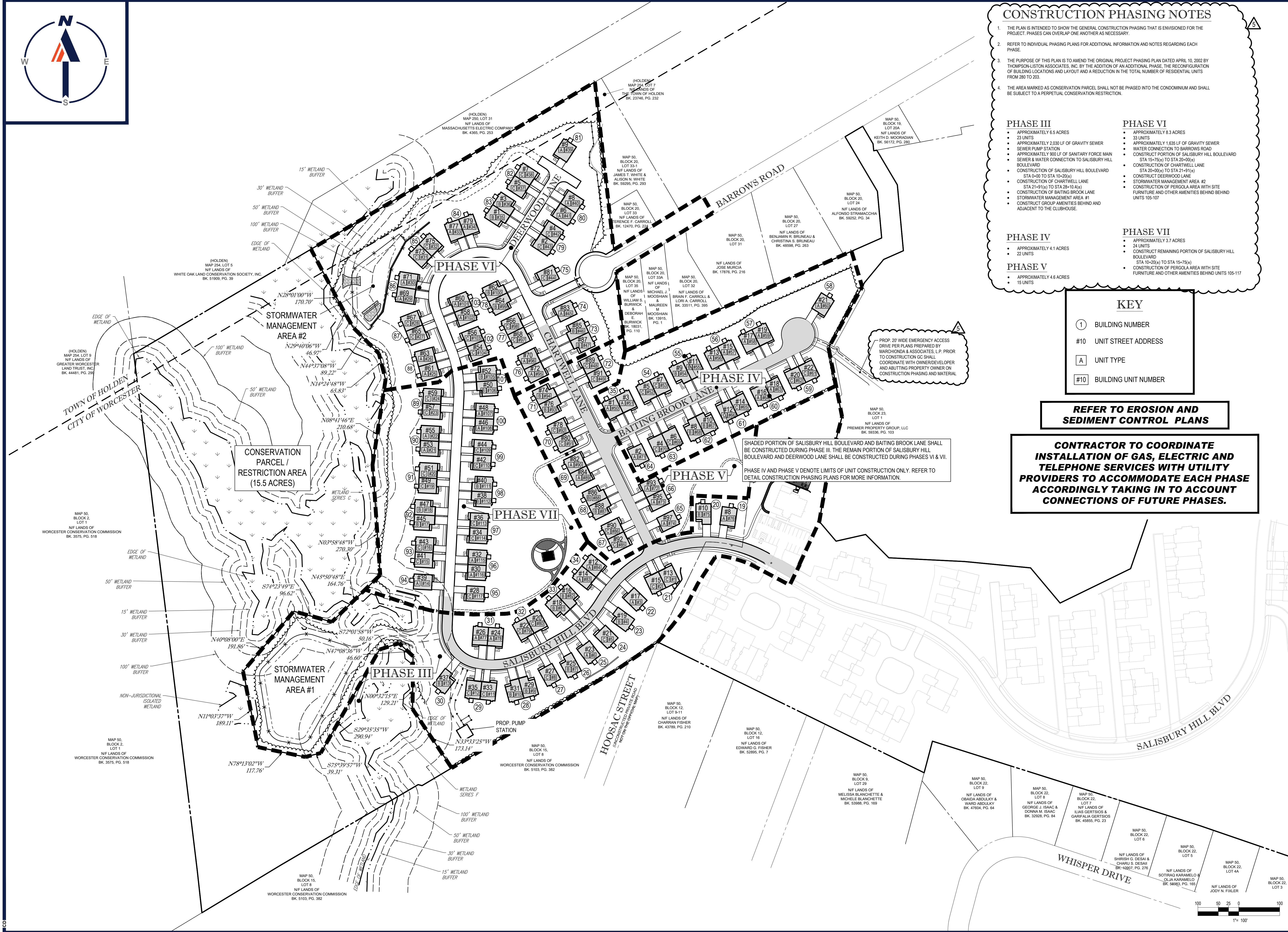


SHEET TITLE:

OVERALL PHASING PLAN

SHEET NUMBER: **C-305**

REVISION 5 - 03/07/2024



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KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

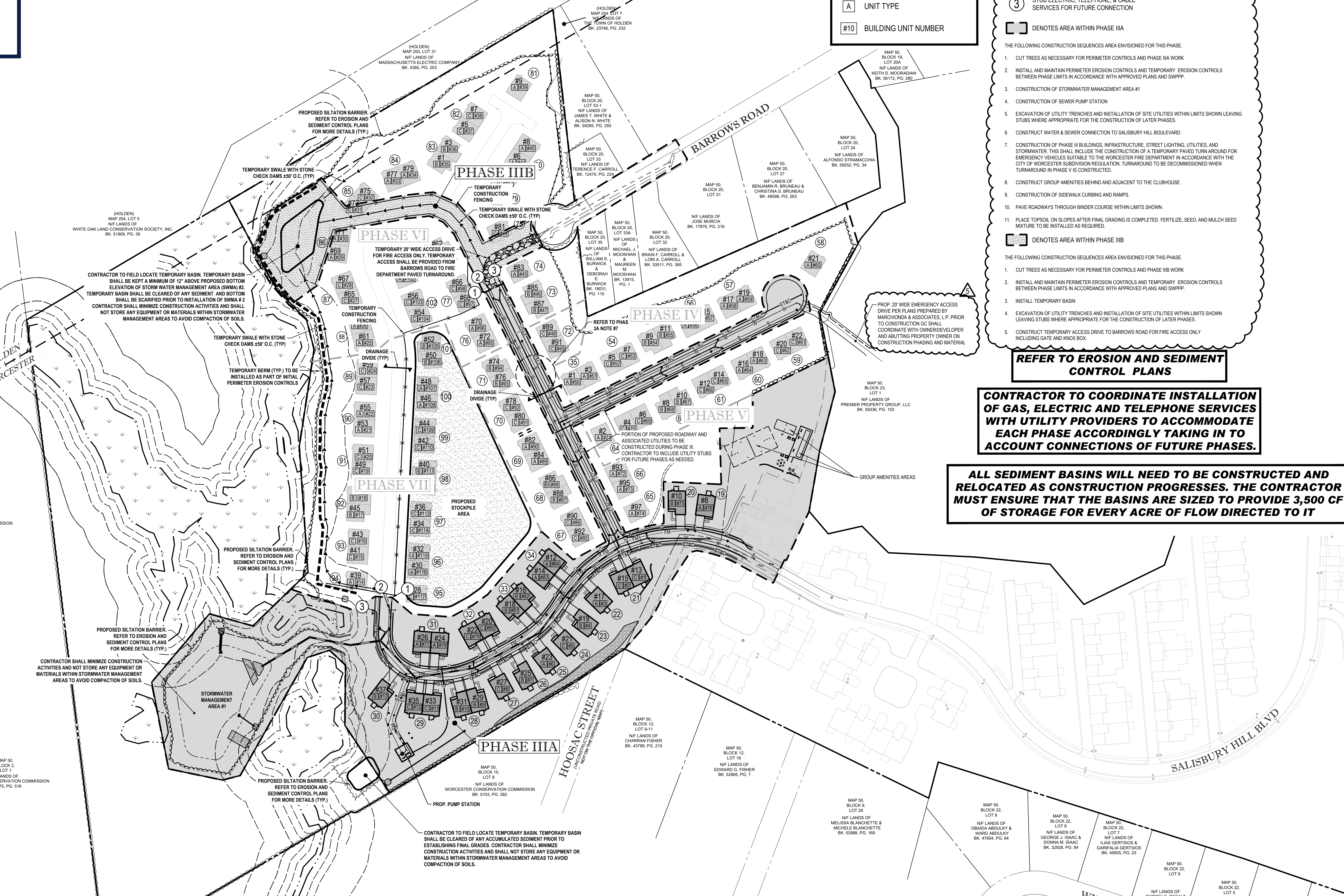
PHASE III CONSTRUCTION SEQUENCING NOTES

- ① STUB GAS SERVICE FOR FUTURE CONNECTION
 - ② STUB WATER SERVICE FOR FUTURE CONNECTION
 - ③ STUB ELECTRIC, TELEPHONE, & CABLE SERVICES FOR FUTURE CONNECTION
- ☐ DENOTES AREA WITHIN PHASE IIIA
- THE FOLLOWING CONSTRUCTION SEQUENCES ARE ENVISIONED FOR THIS PHASE:
1. CUT TREES AS NECESSARY FOR PERIMETER CONTROLS AND PHASE IIIA WORK
 2. INSTALL AND MAINTAIN PERIMETER EROSION CONTROLS AND TEMPORARY EROSION CONTROLS BETWEEN PHASE LIMITS IN ACCORDANCE WITH APPROVED PLANS AND SWPPP.
 3. CONSTRUCTION OF STORMWATER MANAGEMENT AREA #1
 4. CONSTRUCTION OF SEWER PUMP STATION
 5. EXCAVATION OF UTILITY TRENCHES AND INSTALLATION OF SITE UTILITIES WITHIN LIMITS SHOWN LEAVING STUBS WHERE APPROPRIATE FOR THE CONSTRUCTION OF LATER PHASES.
 6. CONSTRUCT WATER & SEWER CONNECTION TO SALISBURY HILL BOULEVARD
 7. CONSTRUCTION OF PHASE III BUILDINGS, INFRASTRUCTURE, STREET LIGHTING, UTILITIES, AND STORMWATER. THIS SHALL INCLUDE THE CONSTRUCTION OF A TEMPORARY PAVED TURN AROUND FOR EMERGENCY VEHICLES SUITABLE TO THE WORCESTER FIRE DEPARTMENT IN ACCORDANCE WITH THE CITY OF WORCESTER SUBDIVISION REGULATION. TURNAROUND TO BE DECOMMISSIONED WHEN TURNAROUND IN PHASE V IS CONSTRUCTED.
 8. CONSTRUCT GROUP AMENITIES BEHIND AND ADJACENT TO THE CLUBHOUSE.
 9. CONSTRUCTION OF SIDEWALK CURBING AND RAMPS.
 10. PAVE ROADWAYS THROUGH BINDER COURSE WITHIN LIMITS SHOWN.
 11. PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- ☐ DENOTES AREA WITHIN PHASE IIIB
- THE FOLLOWING CONSTRUCTION SEQUENCES ARE ENVISIONED FOR THIS PHASE:
1. CUT TREES AS NECESSARY FOR PERIMETER CONTROLS AND PHASE IIIB WORK
 2. INSTALL AND MAINTAIN PERIMETER EROSION CONTROLS AND TEMPORARY EROSION CONTROLS BETWEEN PHASE LIMITS IN ACCORDANCE WITH APPROVED PLANS AND SWPPP.
 3. INSTALL TEMPORARY BASIN
 4. EXCAVATION OF UTILITY TRENCHES AND INSTALLATION OF SITE UTILITIES WITHIN LIMITS SHOWN LEAVING STUBS WHERE APPROPRIATE FOR THE CONSTRUCTION OF LATER PHASES.
 5. CONSTRUCT TEMPORARY ACCESS DRIVE TO BARROWS ROAD FOR FIRE ACCESS ONLY INCLUDING GATE AND KNOX BOX.

REFER TO EROSION AND SEDIMENT CONTROL PLANS

CONTRACTOR TO COORDINATE INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES WITH UTILITY PROVIDERS TO ACCOMMODATE EACH PHASE ACCORDINGLY TAKING IN TO ACCOUNT CONNECTIONS OF FUTURE PHASES.

ALL SEDIMENT BASINS WILL NEED TO BE CONSTRUCTED AND RELOCATED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR MUST ENSURE THAT THE BASINS ARE SIZED TO PROVIDE 3,500 CF OF STORAGE FOR EVERY ACRE OF FLOW DIRECTED TO IT



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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/MAK
DATE: 02/22/2020
CAD ID.: W171219_S88_PHASE

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

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J. KUCIACH
Professional Engineer
No. 2416
MORSE LICENSE NO. 2253

SHEET TITLE:
SITE CONSTRUCTION PHASE III

SHEET NUMBER:
C-306

REVISION 5 - 03/07/2024

C:\PROGRAMDATA\BOHLER\2022\2022\NETEMPAC\PUB\19_14729\W1719_S88_PHASE_III_LAYOUT_1.C306



KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

PHASE IV CONSTRUCTION SEQUENCING NOTES

- ☐ DENOTES AREA WITHIN PHASE IV
- THE FOLLOWING CONSTRUCTION SEQUENCES ARE ENVISIONED FOR THIS PHASE.
- CLEAR ADDITIONAL TREES FOR INSTALLATION OF REMAINING PERIMETER CONTROL AND WORK IN PHASE IV
 - INSTALL AND MAINTAIN PERIMETER EROSION CONTROLS AND TEMPORARY EROSION CONTROLS BETWEEN PHASE LIMITS IN ACCORDANCE WITH APPROVED PLANS AND SWPPP.
 - EXCAVATION OF UTILITY TRENCHES AND INSTALLATION OF SITE UTILITIES WITHIN LIMITS SHOWN LEAVING STUBS WHERE APPROPRIATE FOR THE CONSTRUCTION OF LATER PHASES.
 - CONSTRUCTION OF PHASE IV BUILDINGS, INFRASTRUCTURE, STREET LIGHTING, UTILITIES, AND STORMWATER. THIS SHALL INCLUDE THE CONSTRUCTION OF A TEMPORARY PAVED TURN AROUND FOR EMERGENCY VEHICLES SUITABLE TO THE WORCESTER FIRE DEPARTMENT IN ACCORDANCE WITH THE CITY OF WORCESTER SUBDIVISION REGULATION. TURNAROUND TO BE DECOMMISSIONED WHEN TURNAROUND IN PHASE IV IS CONSTRUCTED.
 - CONSTRUCTION OF SIDEWALK CURBING AND RAMPS.
 - PAVE ROADWAYS THROUGH COURSE WITHIN LIMITS SHOWN.
 - TEMPORARY GRAVEL ACCESS TO BARROWS ROAD TO BE BROUGHT TO BINDER PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT FOR PHASE IV OR LATER PHASES.
 - PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.

REFER TO EROSION AND SEDIMENT CONTROL PLANS

CONTRACTOR TO COORDINATE INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES WITH UTILITY PROVIDERS TO ACCOMMODATE EACH PHASE ACCORDINGLY TAKING IN TO ACCOUNT CONNECTIONS OF FUTURE PHASES.

ALL SEDIMENT BASINS WILL NEED TO BE CONSTRUCTED AND RELOCATED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR MUST ENSURE THAT THE BASINS ARE SIZED TO PROVIDE 3,500 CF OF STORAGE FOR EVERY ACRE OF FLOW DIRECTED TO IT

REVISIONS

REV	DATE	COMMENT	CREATED BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS
2	09/09/20	PER CITY STAFF COMMENTS	AJS
3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	AJS
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 09/22/2020
CAD ID: W171219_S88_PHASE

PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS



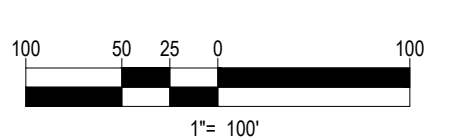
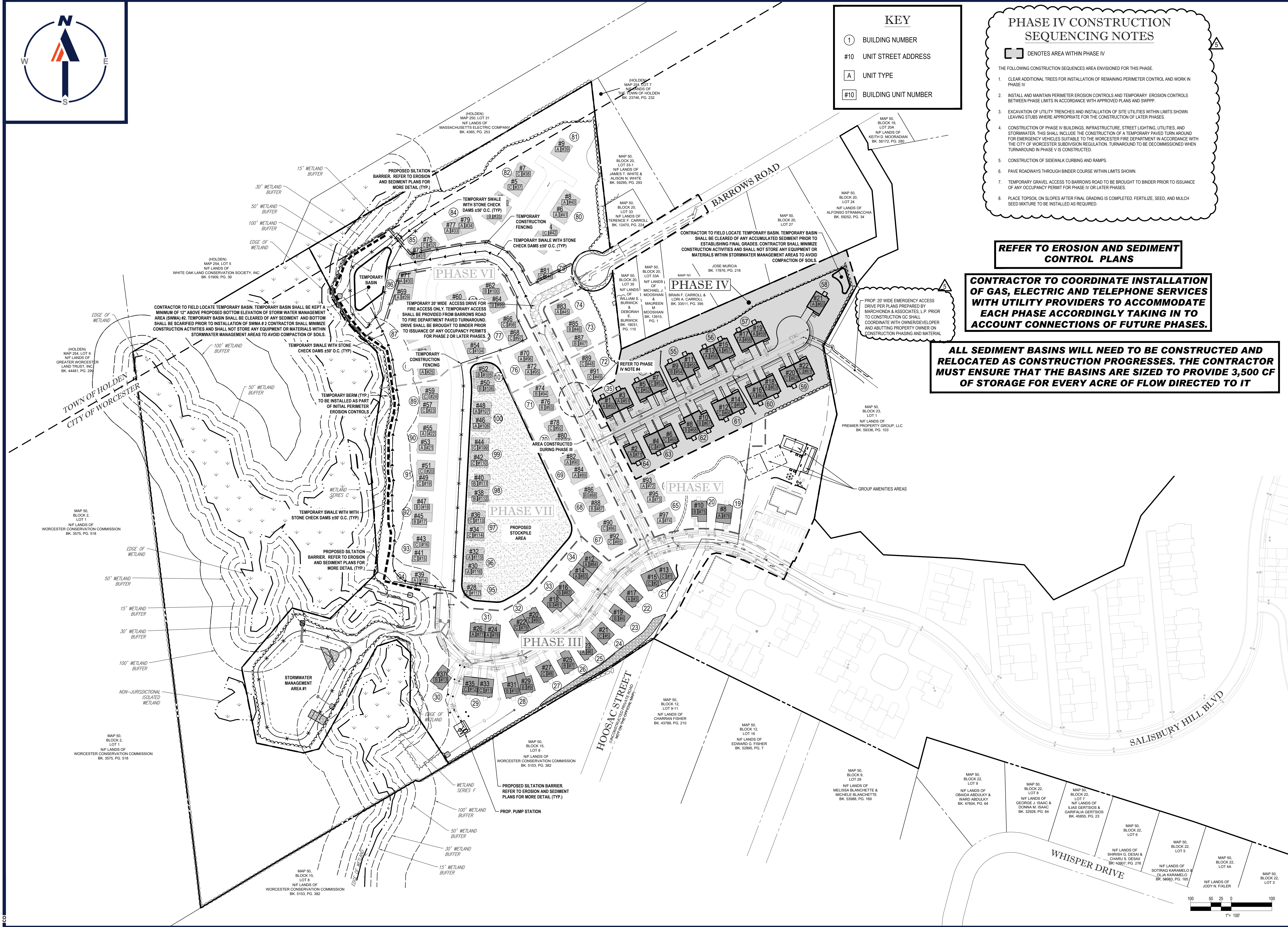
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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SITE CONSTRUCTION PHASE IV

SHEET NUMBER: **C-307**

REVISION 5 - 03/07/2024



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KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

PHASE V CONSTRUCTION SEQUENCING NOTES

☐ DENOTES AREA WITHIN PHASE V

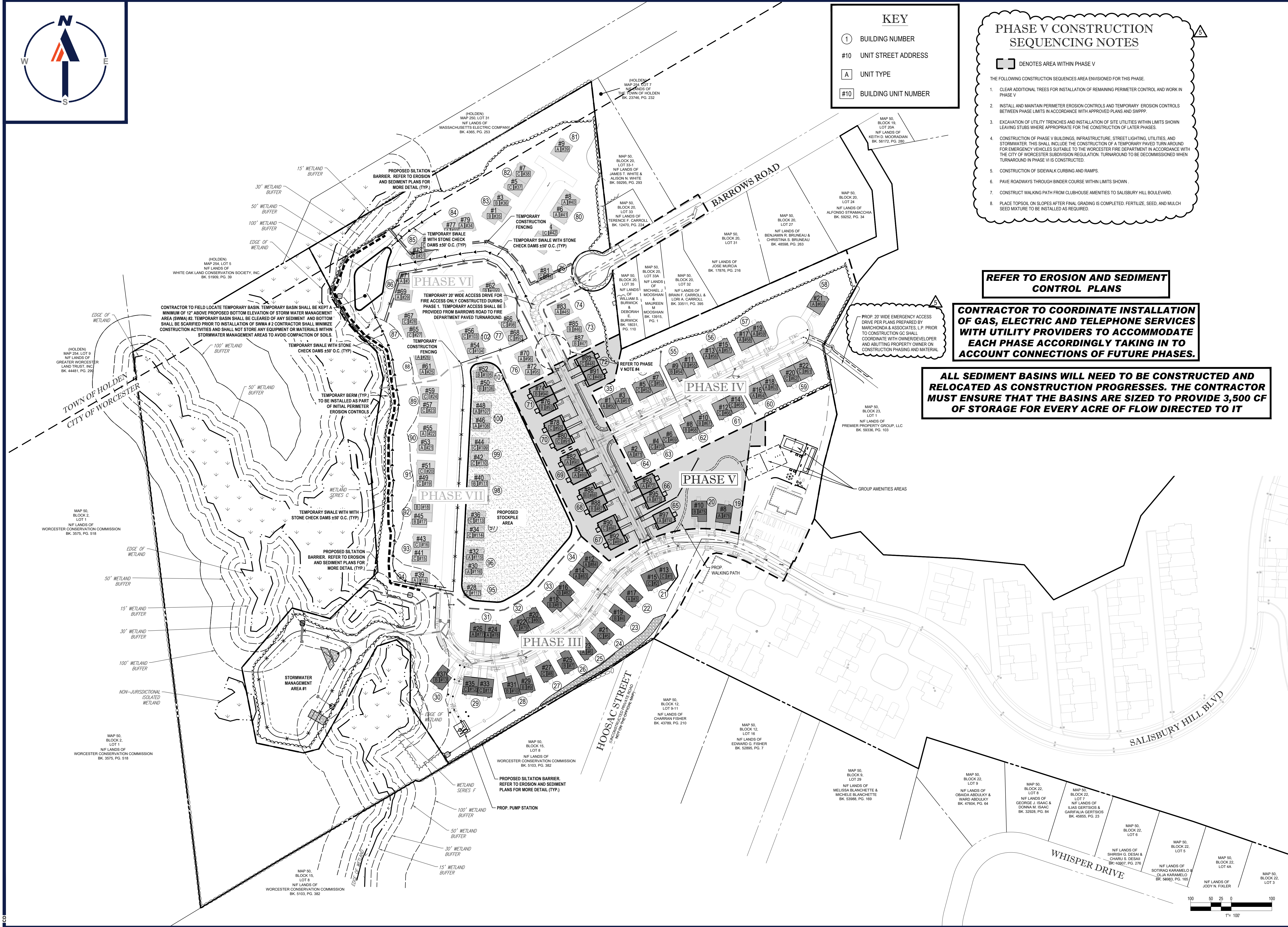
THE FOLLOWING CONSTRUCTION SEQUENCES AREA ENVISIONED FOR THIS PHASE:

- CLEAR ADDITIONAL TREES FOR INSTALLATION OF REMAINING PERIMETER CONTROL AND WORK IN PHASE V
- INSTALL AND MAINTAIN PERIMETER EROSION CONTROLS AND TEMPORARY EROSION CONTROLS BETWEEN PHASE LIMITS IN ACCORDANCE WITH APPROVED PLANS AND SWPPP.
- EXCAVATION OF UTILITY TRENCHES AND INSTALLATION OF SITE UTILITIES WITHIN LIMITS SHOWN LEAVING STUBS WHERE APPROPRIATE FOR THE CONSTRUCTION OF LATER PHASES.
- CONSTRUCTION OF PHASE V BUILDINGS, INFRASTRUCTURE, STREET LIGHTING, UTILITIES, AND STORMWATER. THIS SHALL INCLUDE THE CONSTRUCTION OF A TEMPORARY PAVED TURN AROUND FOR EMERGENCY VEHICLES SUITABLE TO THE WORCESTER FIRE DEPARTMENT IN ACCORDANCE WITH THE CITY OF WORCESTER SUBDIVISION REGULATION. TURNAROUND TO BE DECOMMISSIONED WHEN TURNAROUND IN PHASE VI IS CONSTRUCTED.
- CONSTRUCTION OF SIDEWALK CURBING AND RAMPS.
- PAVE ROADWAYS THROUGH BINDER COURSE WITHIN LIMITS SHOWN.
- CONSTRUCT WALKING PATH FROM CLUBHOUSE AMENITIES TO SALISBURY HILL BOULEVARD.
- PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.

REFER TO EROSION AND SEDIMENT CONTROL PLANS

CONTRACTOR TO COORDINATE INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES WITH UTILITY PROVIDERS TO ACCOMMODATE EACH PHASE ACCORDINGLY TAKING IN TO ACCOUNT CONNECTIONS OF FUTURE PHASES.

ALL SEDIMENT BASINS WILL NEED TO BE CONSTRUCTED AND RELOCATED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR MUST ENSURE THAT THE BASINS ARE SIZED TO PROVIDE 3,500 CF OF STORAGE FOR EVERY ACRE OF FLOW DIRECTED TO IT



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REV	DATE	COMMENT	CHKD BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS
2	09/09/20	PER CITY STAFF COMMENTS	AJS
3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	AJS
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 08/22/2020
 CAD ID: W171219_S88_PHASE

PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER

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 JOHN KUCIACH
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 EXPIRES 12/31/2024
 STATE OF MASSACHUSETTS
 BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS

SHEET TITLE:
SITE CONSTRUCTION PHASE V

SHEET NUMBER:
C-308

REVISION 5 - 03/07/2024

C:\PROGRAMDATA\BOHLER\30222\NET\TEMP\AC\PHASE_V\1_S88_PHASE_V_LAYOUT.dwg



KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

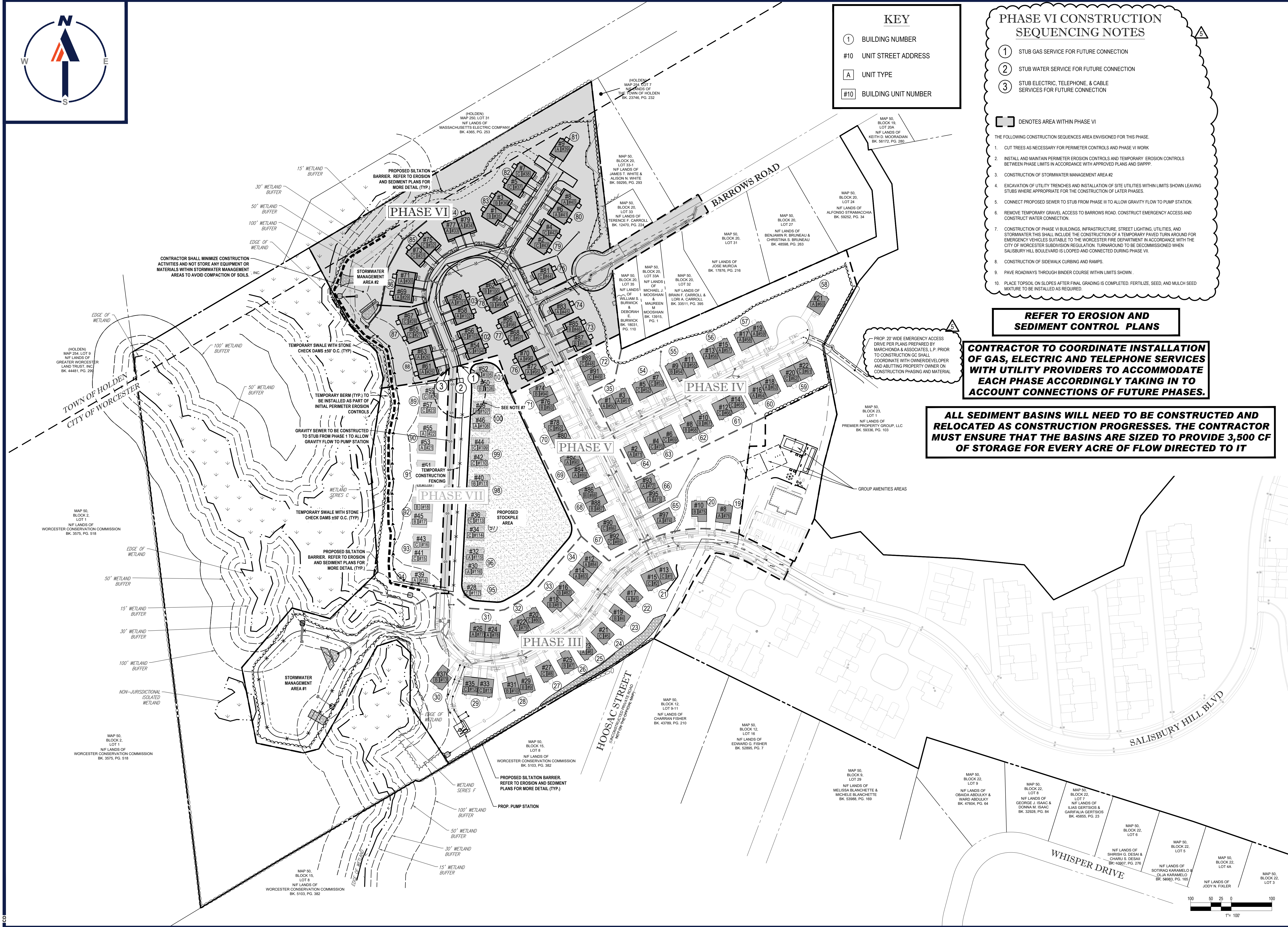
- PHASE VI CONSTRUCTION SEQUENCING NOTES**
- ① STUB GAS SERVICE FOR FUTURE CONNECTION
 - ② STUB WATER SERVICE FOR FUTURE CONNECTION
 - ③ STUB ELECTRIC, TELEPHONE, & CABLE SERVICES FOR FUTURE CONNECTION
- ☐ DENOTES AREA WITHIN PHASE VI

- THE FOLLOWING CONSTRUCTION SEQUENCES ARE ENVISIONED FOR THIS PHASE:
1. CUT TREES AS NECESSARY FOR PERIMETER CONTROLS AND PHASE VI WORK
 2. INSTALL AND MAINTAIN PERIMETER EROSION CONTROLS AND TEMPORARY EROSION CONTROLS BETWEEN PHASE LIMITS IN ACCORDANCE WITH APPROVED PLANS AND SWPPP.
 3. CONSTRUCTION OF STORMWATER MANAGEMENT AREA #2
 4. EXCAVATION OF UTILITY TRENCHES AND INSTALLATION OF SITE UTILITIES WITHIN LIMITS SHOWN LEAVING STUBS WHERE APPROPRIATE FOR THE CONSTRUCTION OF LATER PHASES.
 5. CONNECT PROPOSED SEWER TO STUB FROM PHASE III TO ALLOW GRAVITY FLOW TO PUMP STATION.
 6. REMOVE TEMPORARY GRAVEL ACCESS TO BARROWS ROAD. CONSTRUCT EMERGENCY ACCESS AND CONSTRUCT WATER CONNECTION.
 7. CONSTRUCTION OF PHASE VI BUILDINGS, INFRASTRUCTURE, STREET LIGHTING, UTILITIES, AND STORMWATER THIS SHALL INCLUDE THE CONSTRUCTION OF A TEMPORARY PAVED TURN AROUND FOR EMERGENCY VEHICLES SUITABLE TO THE WORCESTER FIRE DEPARTMENT IN ACCORDANCE WITH THE CITY OF WORCESTER SUBDIVISION REGULATION. TURN AROUND TO BE DECOMMISSIONED WHEN SALISBURY HILL BOULEVARD IS LOOPED AND CONNECTED DURING PHASE VII.
 8. CONSTRUCTION OF SIDEWALK CURBING AND RAMPS.
 9. PAVE ROADWAYS THROUGH BINDER COURSE WITHIN LIMITS SHOWN.
 10. PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.

REFER TO EROSION AND SEDIMENT CONTROL PLANS

CONTRACTOR TO COORDINATE INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES WITH UTILITY PROVIDERS TO ACCOMMODATE EACH PHASE ACCORDINGLY TAKING IN TO ACCOUNT CONNECTIONS OF FUTURE PHASES.

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2	09/09/20	PER CITY STAFF COMMENTS	AJS	AJS
3	11/12/2020	PER CITY STAFF COMMENTS	AJS	NEM
4	04/09/2021	PER CITY STAFF COMMENTS	AJS	JKNM
5	03/07/2024	PB AMENDMENT	CFD	JKNM

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 08/22/2020
 CAD ID.: W171219_S88_PHASE

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER

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 JOHN KUCIACH
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 LICENSE NO. 21577
 EXPIRES 12/31/2024
 BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND ARCHITECTS
 STATE OF MASSACHUSETTS

SHEET TITLE:
SITE CONSTRUCTION PHASE VI

SHEET NUMBER:
C-309

REVISION 5 - 03/07/2024

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KEY

- ① BUILDING NUMBER
- #10 UNIT STREET ADDRESS
- A UNIT TYPE
- #10 BUILDING UNIT NUMBER

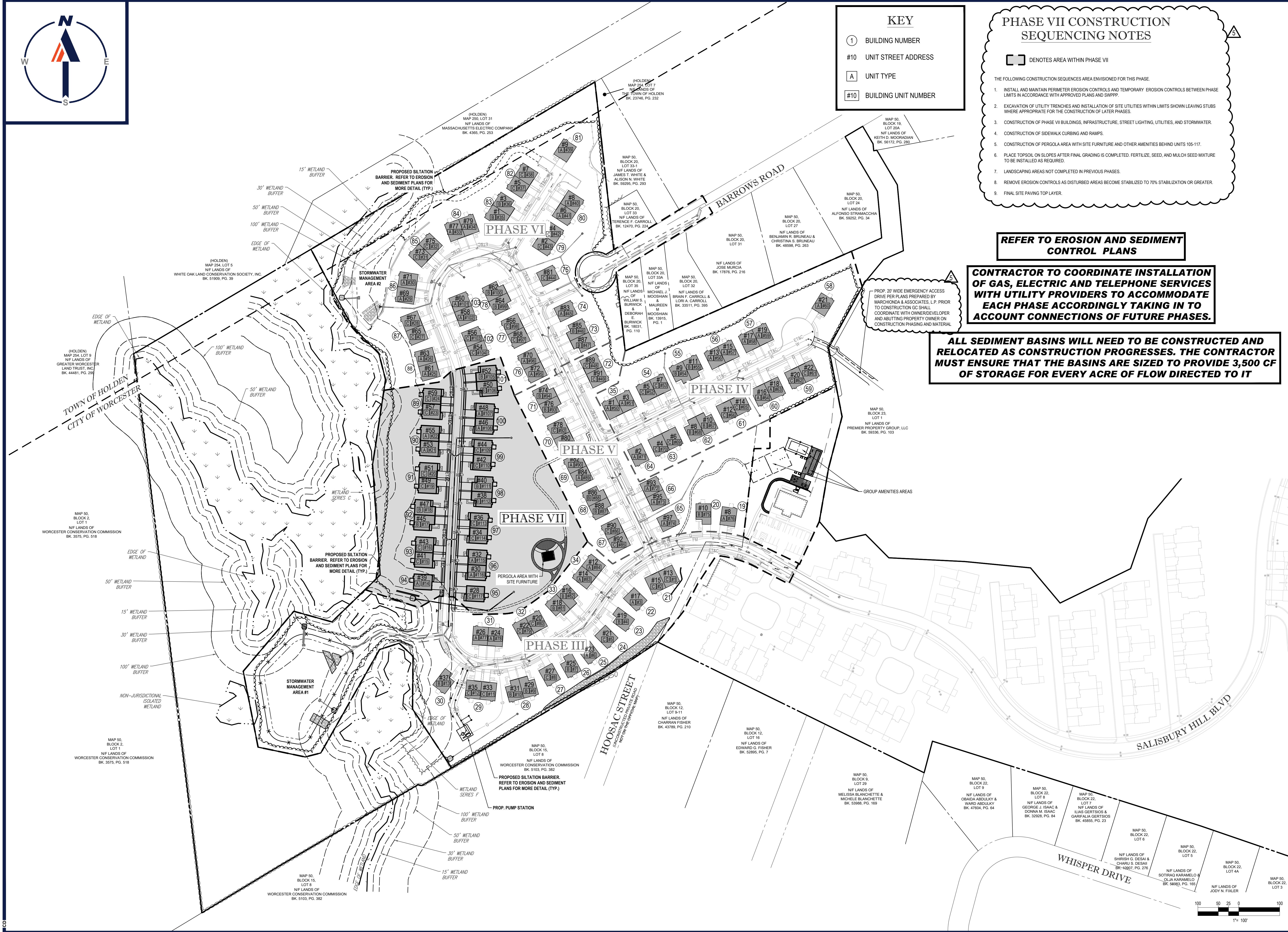
PHASE VII CONSTRUCTION SEQUENCING NOTES

- DENOTES AREA WITHIN PHASE VII
- THE FOLLOWING CONSTRUCTION SEQUENCES ARE ENVISIONED FOR THIS PHASE.
1. INSTALL AND MAINTAIN PERIMETER EROSION CONTROLS AND TEMPORARY EROSION CONTROLS BETWEEN PHASE LIMITS IN ACCORDANCE WITH APPROVED PLANS AND SWPPP.
 2. EXCAVATION OF UTILITY TRENCHES AND INSTALLATION OF SITE UTILITIES WITHIN LIMITS SHOWN LEAVING STUBS WHERE APPROPRIATE FOR THE CONSTRUCTION OF LATER PHASES.
 3. CONSTRUCTION OF PHASE VII BUILDINGS, INFRASTRUCTURE, STREET LIGHTING, UTILITIES, AND STORMWATER.
 4. CONSTRUCTION OF SIDEWALK CURBING AND RAMPS.
 5. CONSTRUCTION OF PERGOLA AREA WITH SITE FURNITURE AND OTHER AMENITIES BEHIND UNITS 105-117.
 6. PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 7. LANDSCAPING AREAS NOT COMPLETED IN PREVIOUS PHASES.
 8. REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.
 9. FINAL SITE PAVING TOP LAYER.

REFER TO EROSION AND SEDIMENT CONTROL PLANS

CONTRACTOR TO COORDINATE INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES WITH UTILITY PROVIDERS TO ACCOMMODATE EACH PHASE ACCORDINGLY TAKING IN TO ACCOUNT CONNECTIONS OF FUTURE PHASES.

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1	08/21/20	PEER REVIEW / CITY COMMENTS	AJS	CFD/AS
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3	11/12/2020	PER CITY STAFF COMMENTS	AJS	NEM
4	04/09/2021	PER CITY STAFF COMMENTS	AJS	JK/NM
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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 09/22/2020
 CAD ID.: W171219_S88_PHASE

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP
 PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

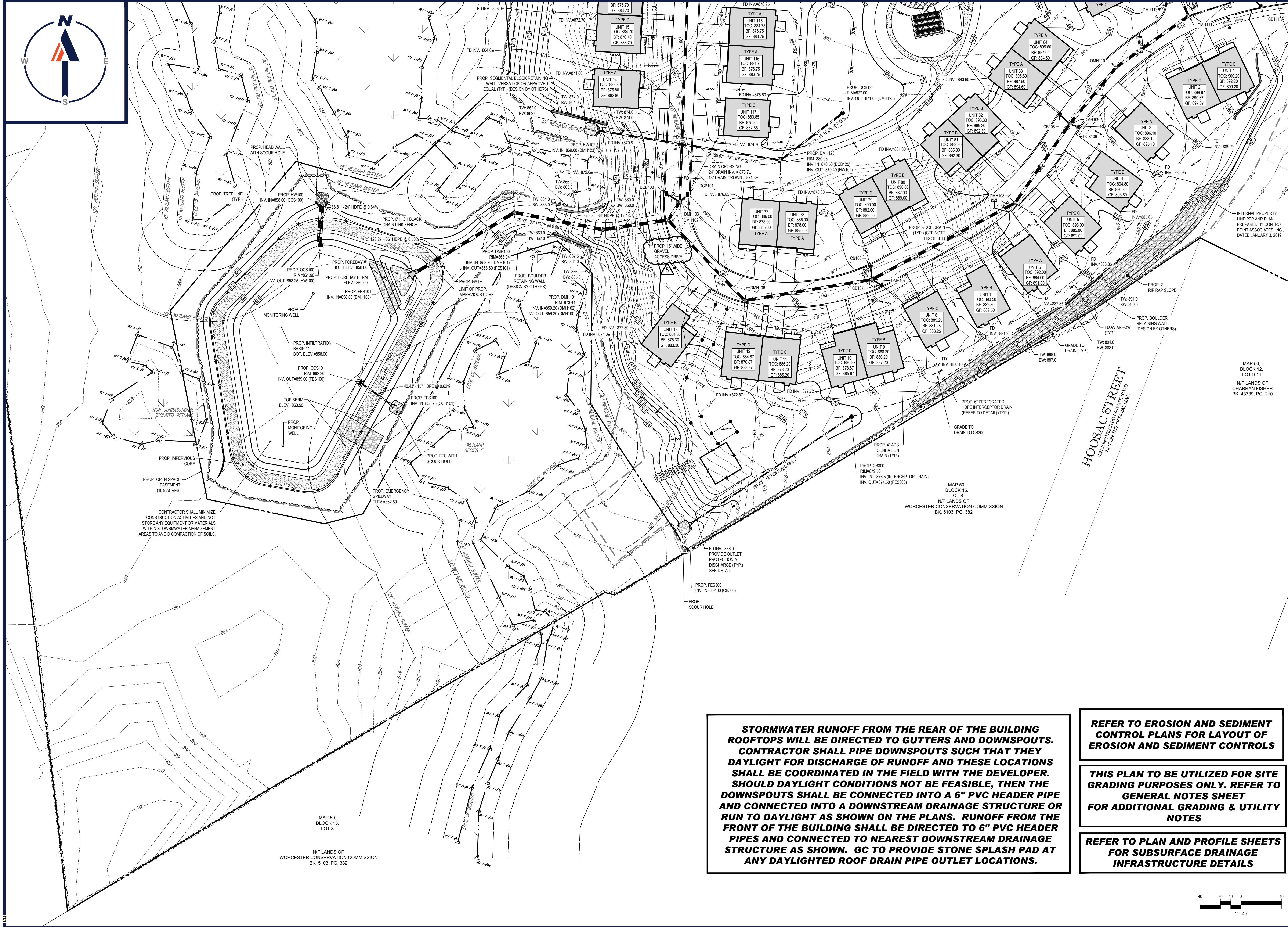
J. KUCIACH
 JOHN KUCIACH
 PROFESSIONAL ENGINEER
 LICENSE NO. 21577
 EXPIRES 12/31/2024
 PHONE: (508) 480-9900
 MOBILE LICENSE NO. 22553

SHEET TITLE:
SITE CONSTRUCTION PHASE VII

SHEET NUMBER:
C-310

REVISION 5 - 03/07/2024

C:\PROGRAMDATA\BOHLER\31022\NETEMPAC\PUB\BUIL\31022\W171219_S88_PHASE...LAYOUT.C310



CONTRACTOR SHALL MINIMIZE CONSTRUCTION ACTIVITIES AND NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN STORMWATER MANAGEMENT AREAS TO AVOID COMPACTION OF SOILS.

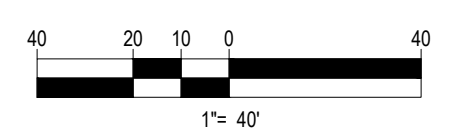
MAP 50, BLOCK 15, LOT 8
N/F LANDS OF WORCESTER CONSERVATION COMMISSION BK. 5103, PG. 382

STORMWATER RUNOFF FROM THE REAR OF THE BUILDING ROOFTOPS WILL BE DIRECTED TO GUTTERS AND DOWNSPOUTS. CONTRACTOR SHALL PIPE DOWNSPOUTS SUCH THAT THEY DAYLIGHT FOR DISCHARGE OF RUNOFF AND THESE LOCATIONS SHALL BE COORDINATED IN THE FIELD WITH THE DEVELOPER. SHOULD DAYLIGHT CONDITIONS NOT BE FEASIBLE, THEN THE DOWNSPOUTS SHALL BE CONNECTED INTO A 6" PVC HEADER PIPE AND CONNECTED INTO A DOWNSTREAM DRAINAGE STRUCTURE OR RUN TO DAYLIGHT AS SHOWN ON THE PLANS. RUNOFF FROM THE FRONT OF THE BUILDING SHALL BE DIRECTED TO 6" PVC HEADER PIPES AND CONNECTED TO NEAREST DOWNSTREAM DRAINAGE STRUCTURE AS SHOWN. GC TO PROVIDE STONE SPLASH PAD AT ANY DAYLIGHTED ROOF DRAIN PIPE OUTLET LOCATIONS.

REFER TO EROSION AND SEDIMENT CONTROL PLANS FOR LAYOUT OF EROSION AND SEDIMENT CONTROLS

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

REFER TO PLAN AND PROFILE SHEETS FOR SUBSURFACE DRAINAGE INFRASTRUCTURE DETAILS



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1	08/21/20	PEER REVIEW / CITY COMMENTS	NEM
2	09/09/20	PER CITY STAFF COMMENTS	AJS
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4	04/09/2021	PER CITY STAFF COMMENTS	AJS
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 02/22/2020
CAD ID.: W171219_S58_GRAD

PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS



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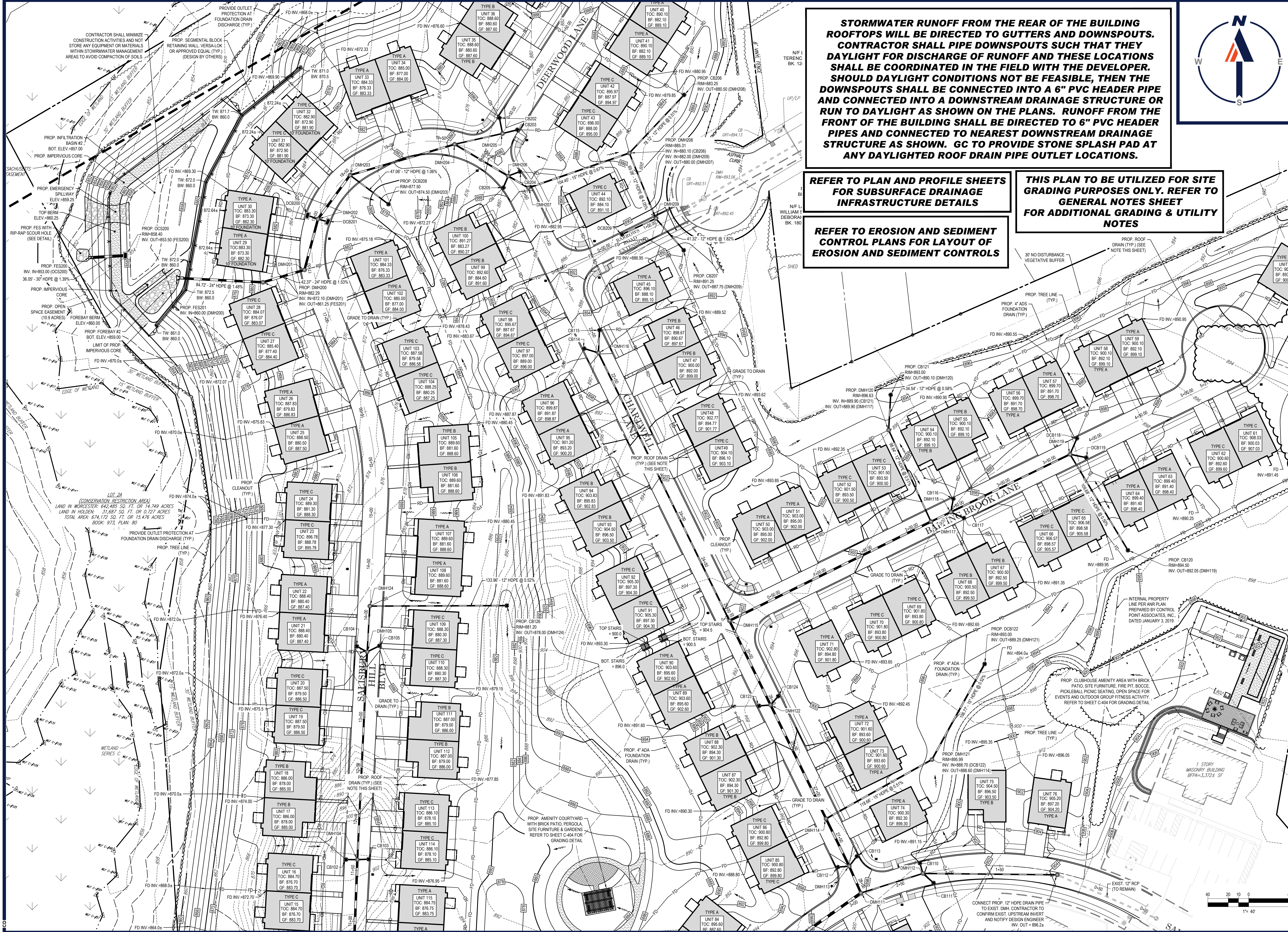


GRADING & DRAINAGE PLAN A

SHEET NUMBER:
C-401

REVISION 5 - 03/07/2024

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STORMWATER RUNOFF FROM THE REAR OF THE BUILDING ROOFTOPS WILL BE DIRECTED TO GUTTERS AND DOWNSPOUTS. CONTRACTOR SHALL PIPE DOWNSPOUTS SUCH THAT THEY DAYLIGHT FOR DISCHARGE OF RUNOFF AND THESE LOCATIONS SHALL BE COORDINATED IN THE FIELD WITH THE DEVELOPER. SHOULD DAYLIGHT CONDITIONS NOT BE FEASIBLE, THEN THE DOWNSPOUTS SHALL BE CONNECTED INTO A 6" PVC HEADER PIPE AND CONNECTED INTO A DOWNSTREAM DRAINAGE STRUCTURE OR RUN TO DAYLIGHT AS SHOWN ON THE PLANS. RUNOFF FROM THE FRONT OF THE BUILDING SHALL BE DIRECTED TO 6" PVC HEADER PIPES AND CONNECTED TO NEAREST DOWNSTREAM DRAINAGE STRUCTURE AS SHOWN. GC TO PROVIDE STONE SPLASH PAD AT ANY DAYLIGHTED ROOF DRAIN PIPE OUTLET LOCATIONS.

REFER TO PLAN AND PROFILE SHEETS FOR SUBSURFACE DRAINAGE INFRASTRUCTURE DETAILS

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

REFER TO EROSION AND SEDIMENT CONTROL PLANS FOR LAYOUT OF EROSION AND SEDIMENT CONTROLS



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1	08/21/20	PEER REVIEW / CITY COMMENTS	NEM
2	09/09/20	PER CITY STAFF COMMENTS	AJS
3	11/12/20	PER CITY STAFF COMMENTS	NEM
4	04/09/21	PER CITY STAFF COMMENTS	AJS
5	03/07/24	PB AMENDMENT	CFD

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PROJECT No.: W171219
 DRAWN BY: AJS/CJM
 CHECKED BY: NEM/JAK
 DATE: 02/22/2020
 CAD FILE: W171219_S58.DWG

PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP
 SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER
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 CONNECTICUT REG. NO. 20177
 MASSACHUSETTS REG. NO. 2016
 MORALE LICENSE NO. 12453

SHEET TITLE:
GRADING & DRAINAGE PLAN B
 SHEET NUMBER:
C-402
 REVISION 5 - 03/07/2024

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THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

REFER TO PLAN AND PROFILE SHEETS FOR SUBSURFACE DRAINAGE INFRASTRUCTURE DETAILS

REFER TO EROSION AND SEDIMENT CONTROL PLANS FOR LAYOUT OF EROSION AND SEDIMENT CONTROLS



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STORMWATER RUNOFF FROM THE REAR OF THE BUILDING ROOFTOPS WILL BE DIRECTED TO GUTTERS AND DOWNSPOUTS. CONTRACTOR SHALL PIPE DOWNSPOUTS SUCH THAT THEY DAYLIGHT FOR DISCHARGE OF RUNOFF AND THESE LOCATIONS SHALL BE COORDINATED IN THE FIELD WITH THE DEVELOPER. SHOULD DAYLIGHT CONDITIONS NOT BE FEASIBLE, THEN THE DOWNSPOUTS SHALL BE CONNECTED INTO A 6" PVC HEADER PIPE AND CONNECTED INTO A DOWNSTREAM DRAINAGE STRUCTURE OR RUN TO DAYLIGHT AS SHOWN ON THE PLANS. RUNOFF FROM THE FRONT OF THE BUILDING SHALL BE DIRECTED TO 6" PVC HEADER PIPES AND CONNECTED TO NEAREST DOWNSTREAM DRAINAGE STRUCTURE AS SHOWN. GC TO PROVIDE STONE SPLASH PAD AT ANY DAYLIGHTED ROOF DRAIN PIPE OUTLET LOCATIONS.

REVISIONS

REV	DATE	COMMENT	CREATED BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS NEM
2	09/09/20	PER CITY STAFF COMMENTS	AJS NEM
3	11/12/2020	PER CITY STAFF COMMENTS	AJS NEM
4	04/09/2021	PER CITY STAFF COMMENTS	AJS JKJNM
5	03/07/2024	PB AMENDMENT	CFD JKJNM

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 02/22/2020
 CAD ID.: W171219_S58_G24

PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

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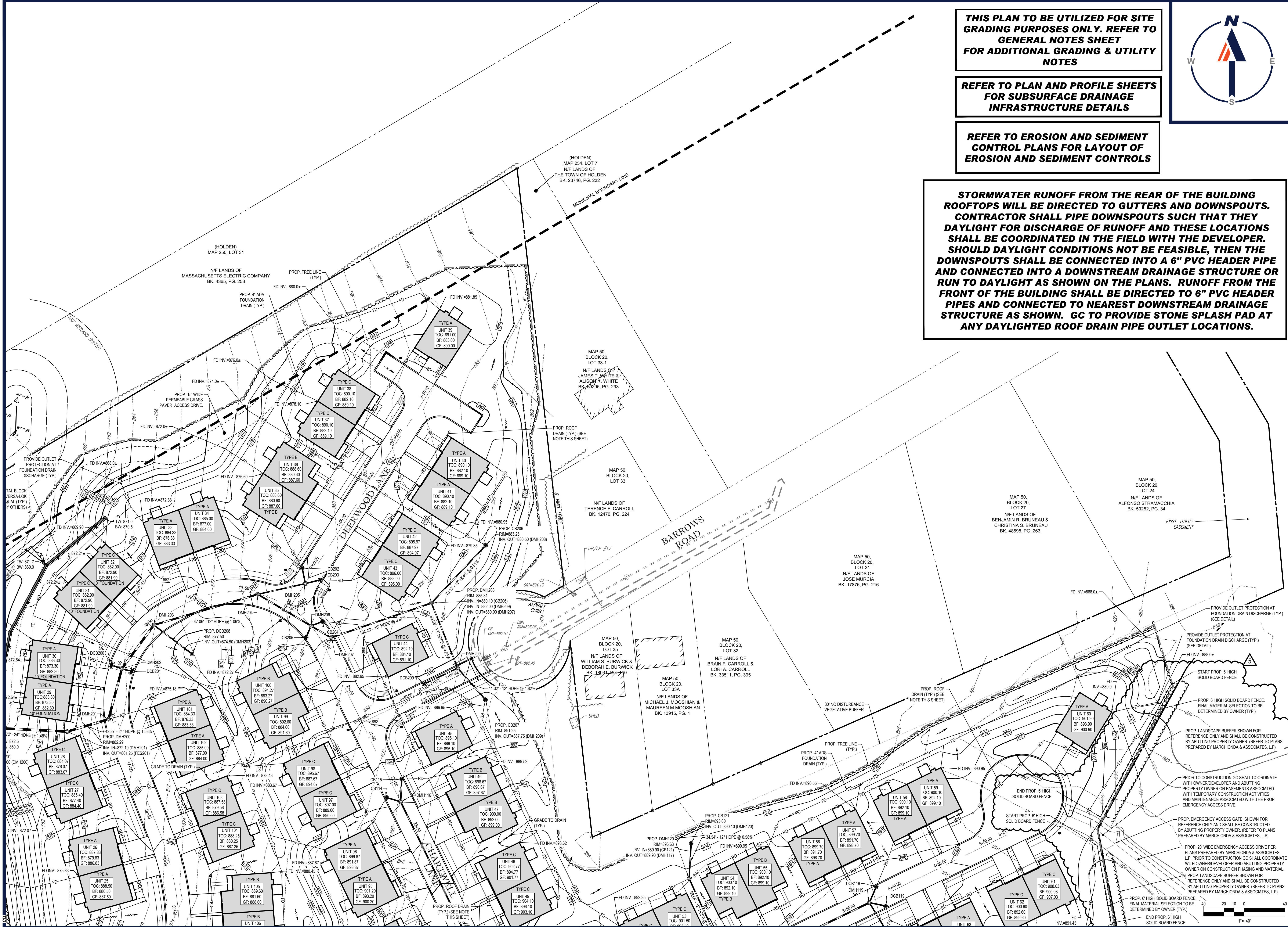
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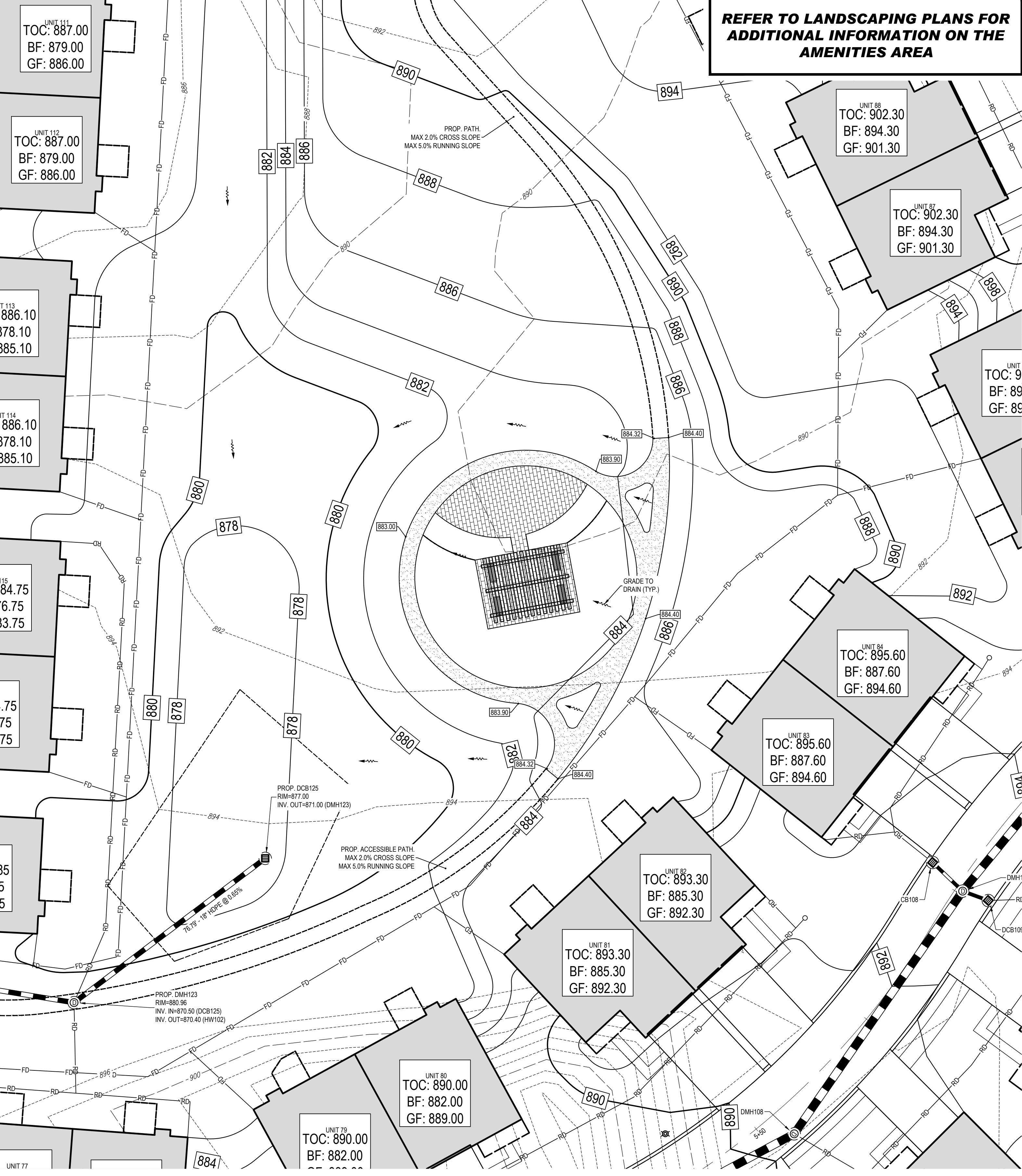
GRADING & DRAINAGE PLAN C

SHEET NUMBER:
C-403

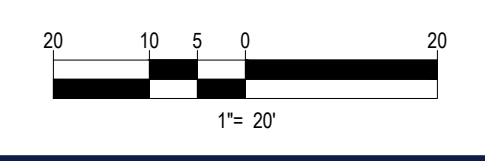
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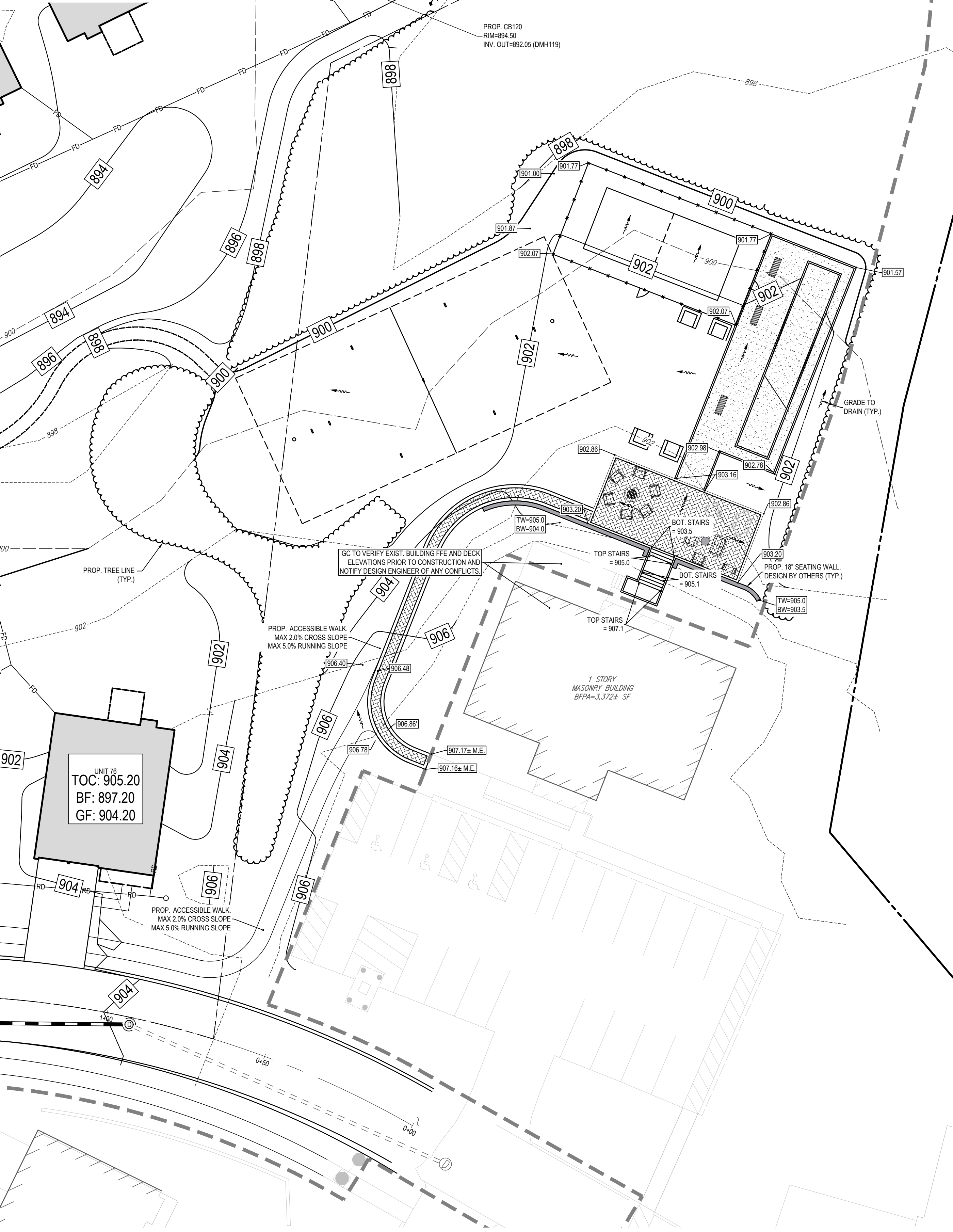
AMENITY COURTYARD AREA GRADING DETAIL



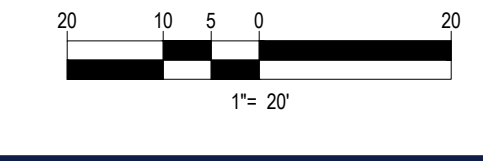
THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

REFER TO EROSION AND SEDIMENT CONTROL PLANS FOR LAYOUT OF EROSION AND SEDIMENT CONTROLS

REFER TO LANDSCAPING PLANS FOR ADDITIONAL INFORMATION ON THE AMENITIES AREA



CLUBHOUSE AMENITY AREA GRADING DETAIL



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1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS
2	09/09/20	PER CITY STAFF COMMENTS	AJS
3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	AJS
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 09/22/2020
 CAD LID.: W171219_S88_GRAD

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER

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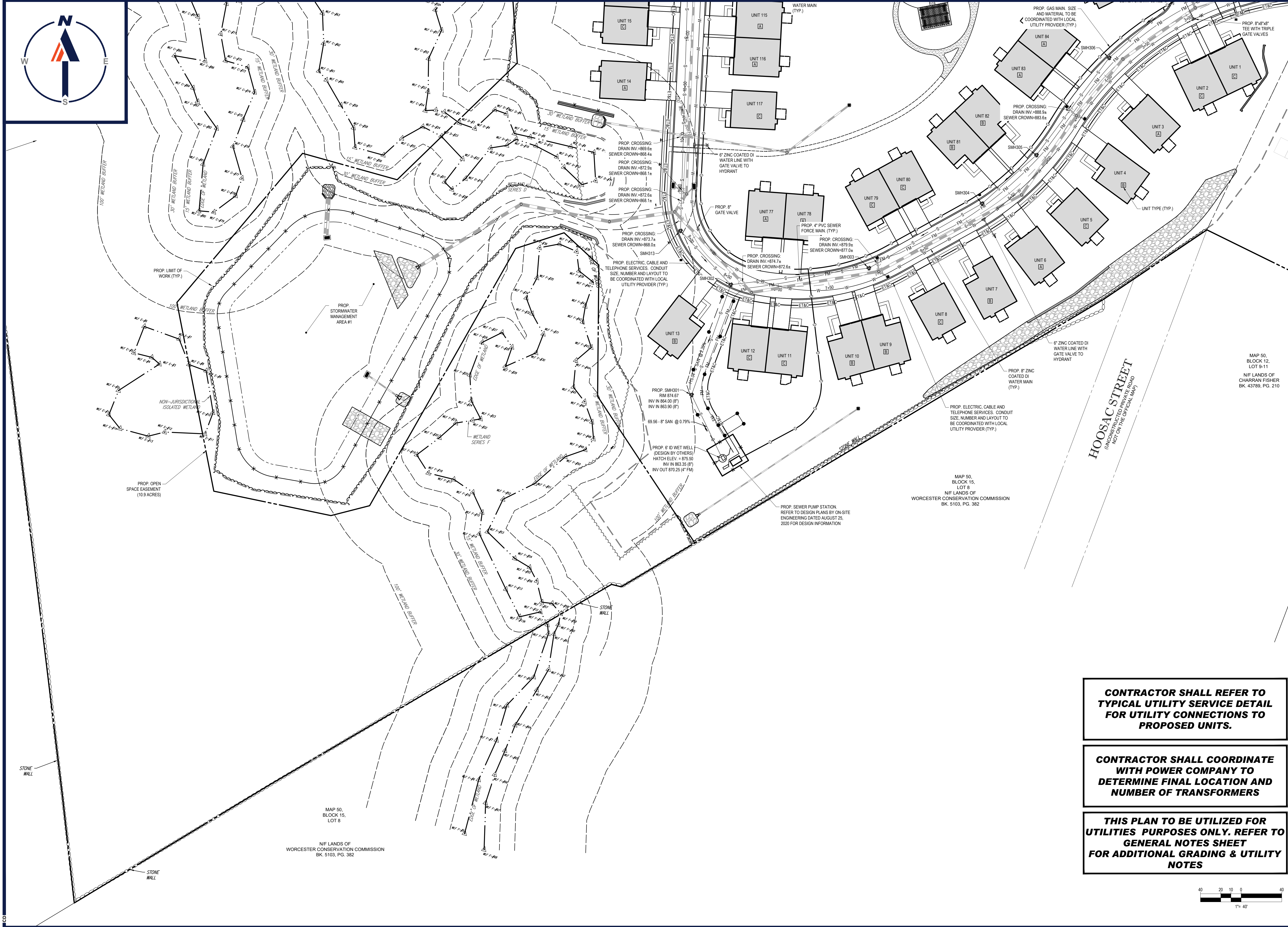


SHEET TITLE:
AMENITY COURTYARD & CLUBHOUSE AMENITY AREA GRADING DETAILS

SHEET NUMBER:
C-404

REVISION 5 - 03/07/2024

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 09/22/2020
 CAD ID.: W171219_SSS_UTIL

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

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 MAP #50, LOT #023
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J. KUCIACH
 JOHN KUCIACH
 PROFESSIONAL ENGINEER
 LICENSE NO. 10177
 EXPIRES 12/31/24
 MAINE LICENSE NO. 2253

SHEET TITLE:
UTILITY PLAN A

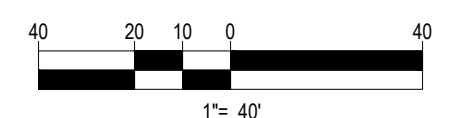
SHEET NUMBER:
C-501

REVISION 5 - 03/07/2024

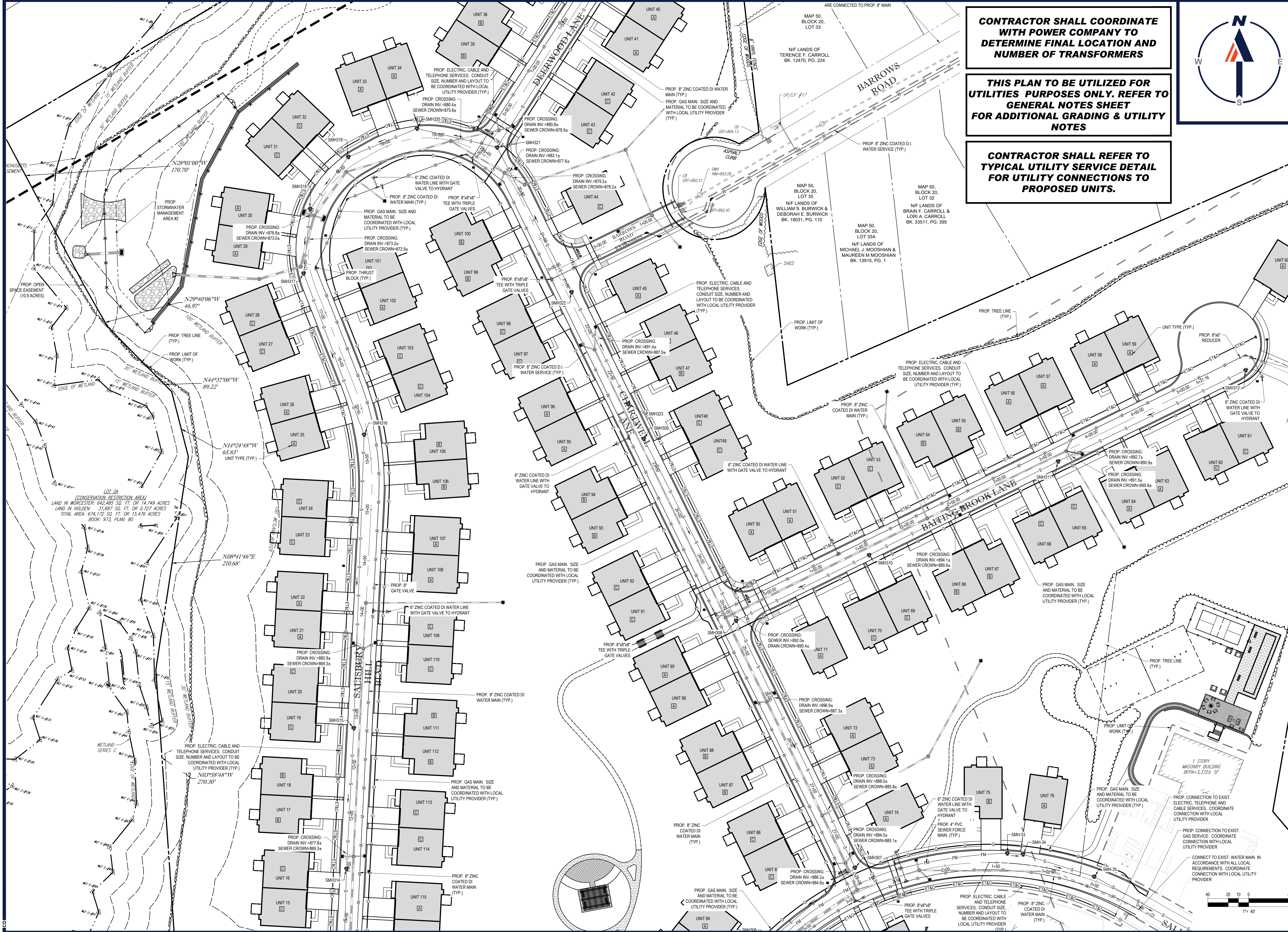
CONTRACTOR SHALL REFER TO TYPICAL UTILITY SERVICE DETAIL FOR UTILITY CONNECTIONS TO PROPOSED UNITS.

CONTRACTOR SHALL COORDINATE WITH POWER COMPANY TO DETERMINE FINAL LOCATION AND NUMBER OF TRANSFORMERS

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



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CONTRACTOR SHALL COORDINATE WITH POWER COMPANY TO DETERMINE FINAL LOCATION AND NUMBER OF TRANSFORMERS

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

CONTRACTOR SHALL REFER TO TYPICAL UTILITY SERVICE DETAIL FOR UTILITY CONNECTIONS TO PROPOSED UNITS.



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5	03/07/2024	PB AMENDMENT	CFD	JKNM

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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 09/22/2020
 CAD ID.: W171219_SSS_UTIL

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
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 JOHN KUCIACH
 PROFESSIONAL ENGINEER
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 EXPIRES 12/31/2024
 PHONE: (508) 480-9900
 MOBILE LICENSE NO. 12553

SHEET TITLE:
UTILITY PLAN B

SHEET NUMBER:
C-502

REVISION 5 - 03/07/2024

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**CONTRACTOR SHALL REFER TO
TYPICAL UTILITY SERVICE DETAIL
FOR UTILITY CONNECTIONS TO
PROPOSED UNITS.**

**CONTRACTOR SHALL COORDINATE
WITH POWER COMPANY TO
DETERMINE FINAL LOCATION AND
NUMBER OF TRANSFORMERS**

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NOTES**



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PROJECT No.: W171219
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DATE: 02/22/2020
CAD ID.: W171219_S58_UTIL

**PROPOSED SITE
PLAN DOCUMENTS**

FOR _____



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CITY OF WORCESTER
WORCESTER COUNTY
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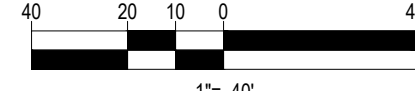
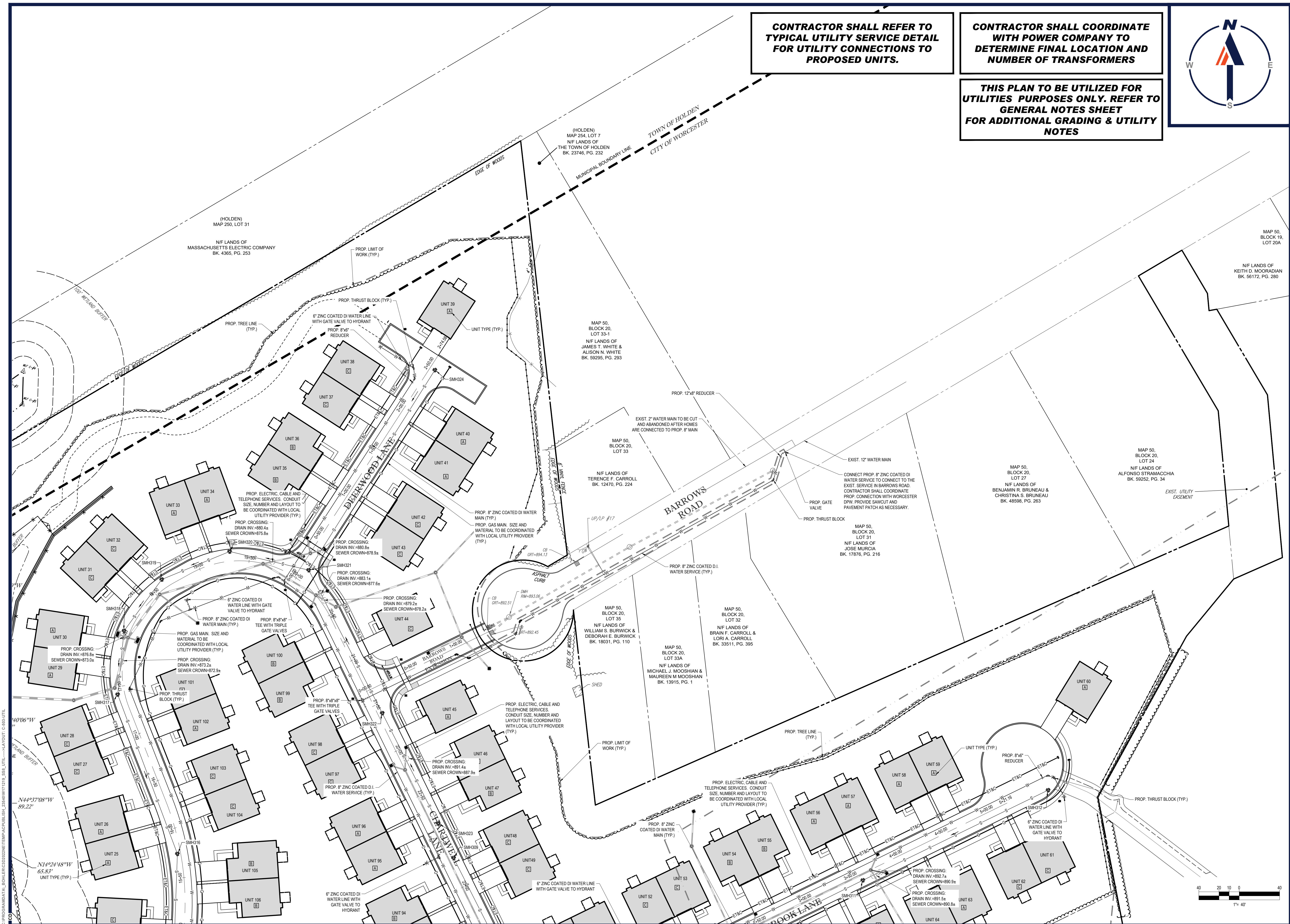
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J. KUCIACH
Professional Engineer
Professional Seal and Signature of Joseph Kuciach, License No. 21253, State of Massachusetts

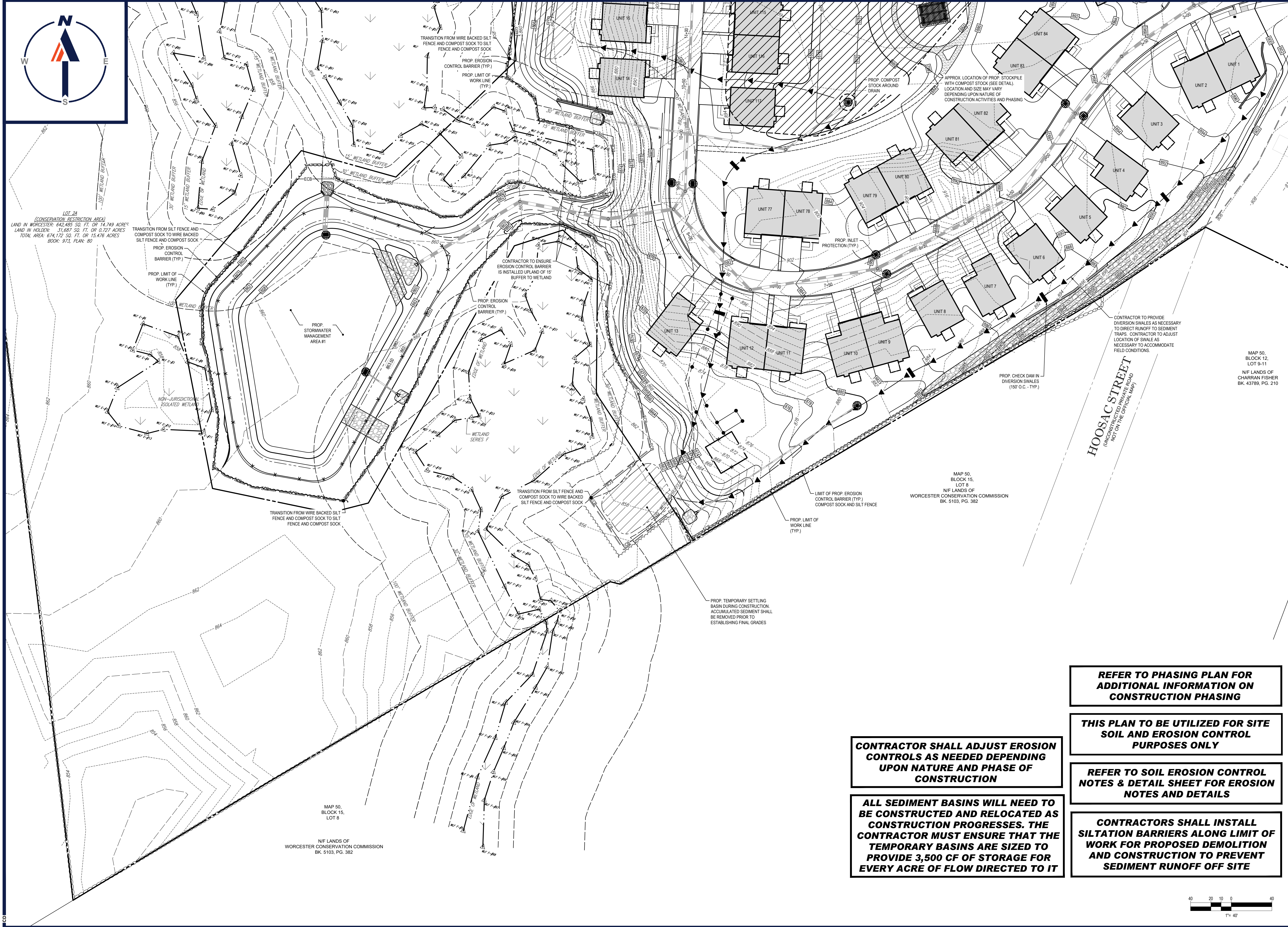
SHEET TITLE:
UTILITY PLAN C

SHEET NUMBER:
C-503

REVISION 5 - 03/07/2024



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LOT 24
(CONSERVATION RESTRICTION AREA)
LAND IN WORCESTER: 642,485 SQ. FT. OR 14.749 ACRES
LAND IN HOLDEN: 31,687 SQ. FT. OR 0.727 ACRES
TOTAL AREA: 674,172 SQ. FT. OR 15.476 ACRES
BOOK: 973, PLAN: 80

MAP 50,
BLOCK 15,
LOT 8
N/F LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 5103, PG. 382

MAP 50,
BLOCK 15,
LOT 8
N/F LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 5103, PG. 382

MAP 50,
BLOCK 12,
LOT 9-11
N/F LANDS OF
CHARRAN FISHER
BK. 43789, PG. 210

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 03/22/2024
CAD ID.: W171219_SSS_EROS

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
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J. KUCIACH
Professional Engineer
Professional Seal

SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN A

SHEET NUMBER:
C-601

REVISION 5 - 03/07/2024

REFER TO PHASING PLAN FOR ADDITIONAL INFORMATION ON CONSTRUCTION PHASING

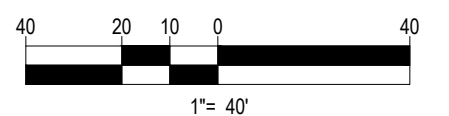
THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

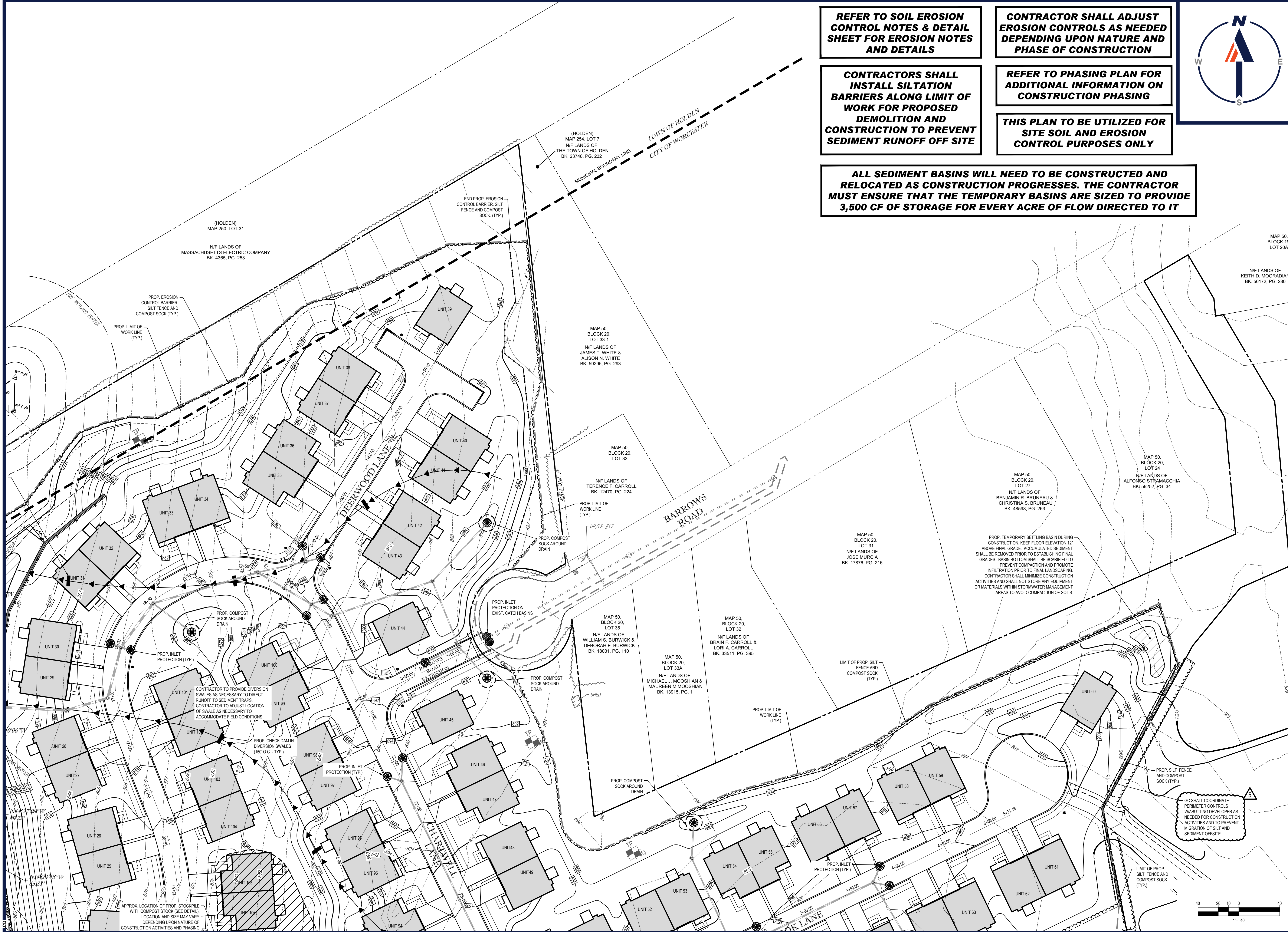
CONTRACTORS SHALL INSTALL SILTATION BARRIERS ALONG LIMIT OF WORK FOR PROPOSED DEMOLITION AND CONSTRUCTION TO PREVENT SEDIMENT RUNOFF OFF SITE

CONTRACTOR SHALL ADJUST EROSION CONTROLS AS NEEDED DEPENDING UPON NATURE AND PHASE OF CONSTRUCTION

ALL SEDIMENT BASINS WILL NEED TO BE CONSTRUCTED AND RELOCATED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR MUST ENSURE THAT THE TEMPORARY BASINS ARE SIZED TO PROVIDE 3,500 CF OF STORAGE FOR EVERY ACRE OF FLOW DIRECTED TO IT



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REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

CONTRACTOR SHALL ADJUST EROSION CONTROLS AS NEEDED DEPENDING UPON NATURE AND PHASE OF CONSTRUCTION

CONTRACTORS SHALL INSTALL SILTATION BARRIERS ALONG LIMIT OF WORK FOR PROPOSED DEMOLITION AND CONSTRUCTION TO PREVENT SEDIMENT RUNOFF OFF SITE

REFER TO PHASING PLAN FOR ADDITIONAL INFORMATION ON CONSTRUCTION PHASING

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4	04/09/2021	PER CITY STAFF COMMENTS	JKNM
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PROJECT No.: W171219
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 CHECKED BY: NEM/JAK
 DATE: 02/22/2020
 CAD ID.: W171219_SSS_EROS

PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

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SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN C

SHEET NUMBER:
C-603

REVISION 5 - 03/07/2024

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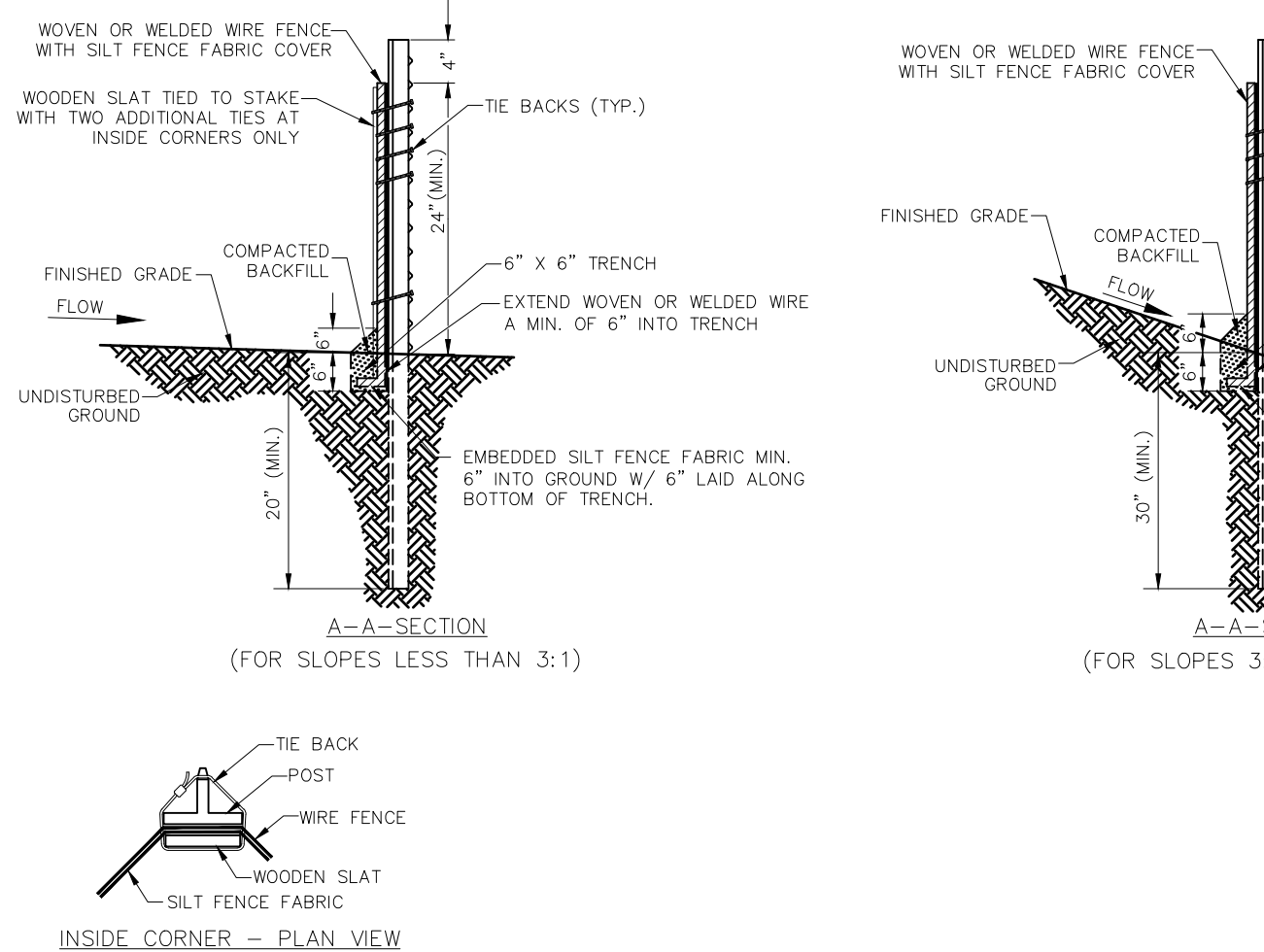
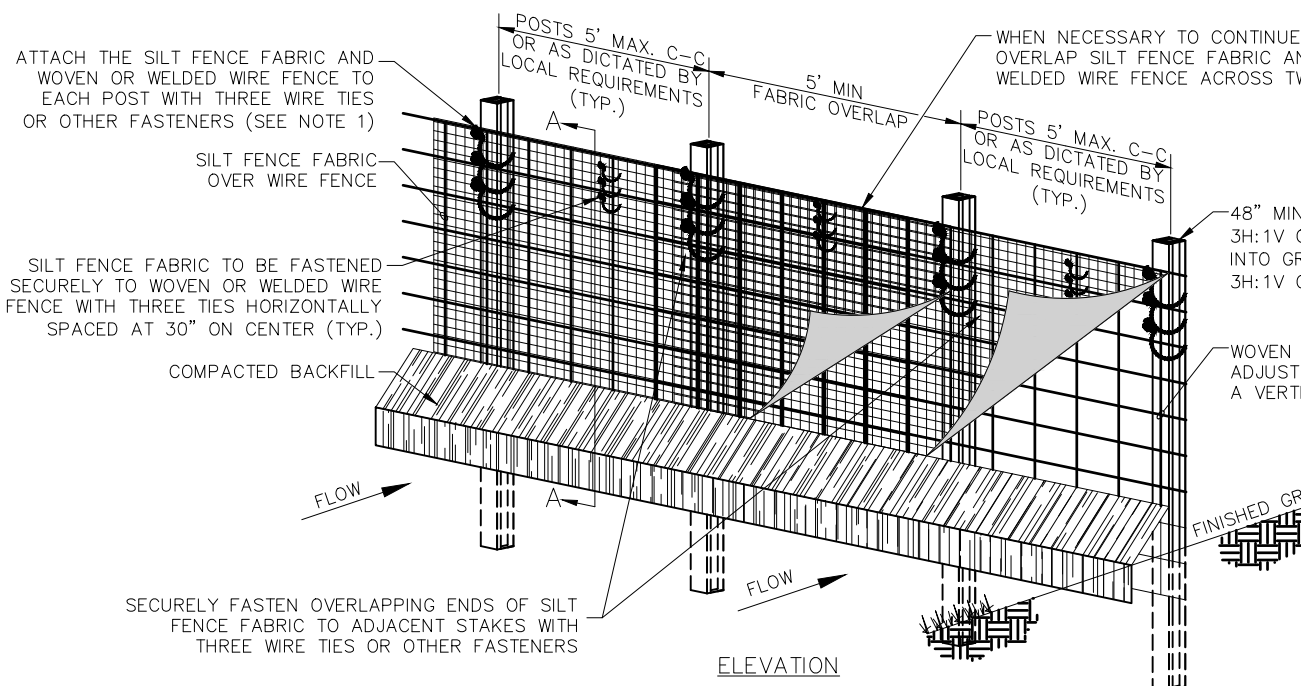
EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL. STRAW WATTLES TO BE REPLACED EVERY 6 MONTHS.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTRATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIERS WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 LAWN QUALITY 500 MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITHIN 100 FEET OF THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION PROTECT AREA	MULCH STRAW	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

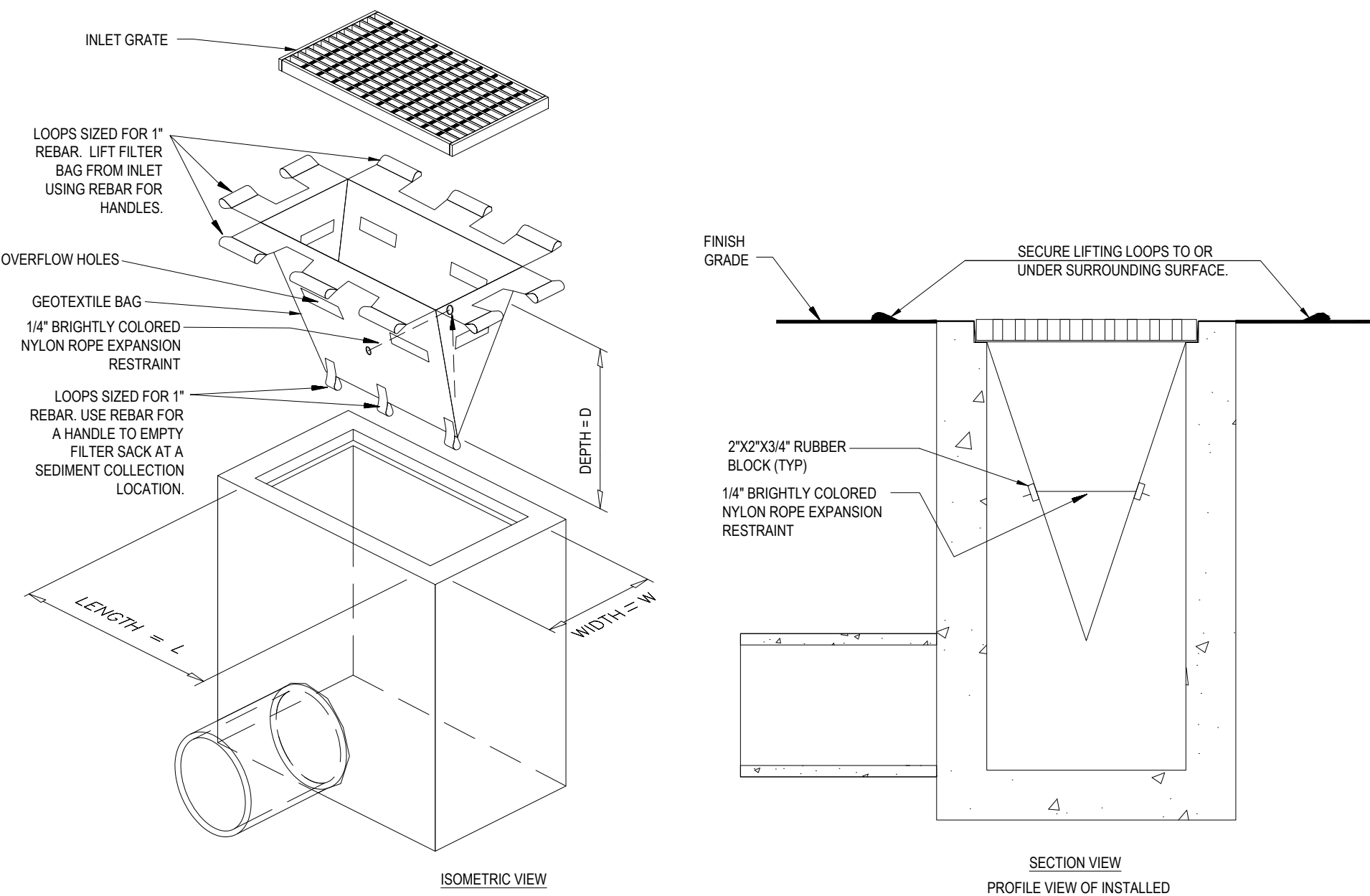
*A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1" SQ. YODBLOCK), MULCH NETTING (AS PER MANUFACTURER), WOOD CELLULOSE FIBER (75) LBS/ACRE, CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS), USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.



EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING), OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNPROPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	85 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC - 1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	OR EQUAL	1.5 SEC - 1

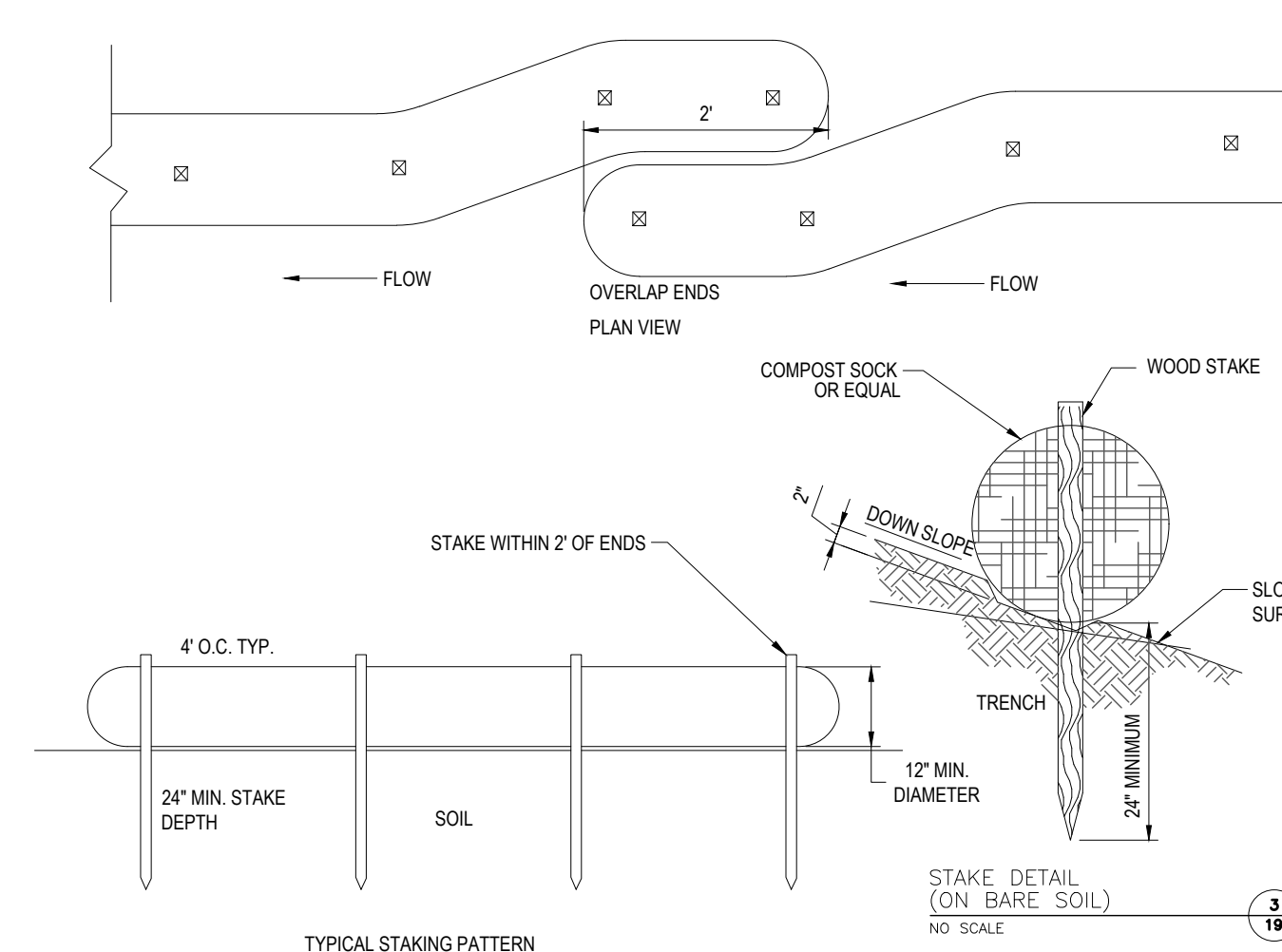
- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

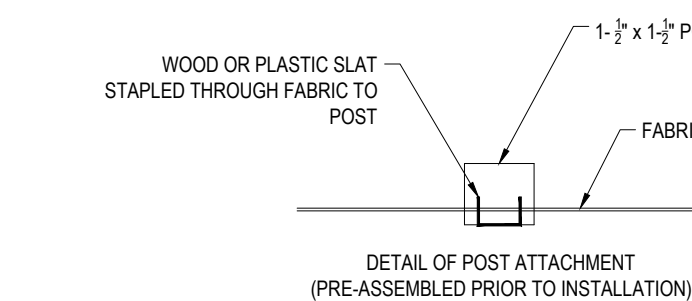
FILTER SACKS (GRADED INLETS)

N.T.S.

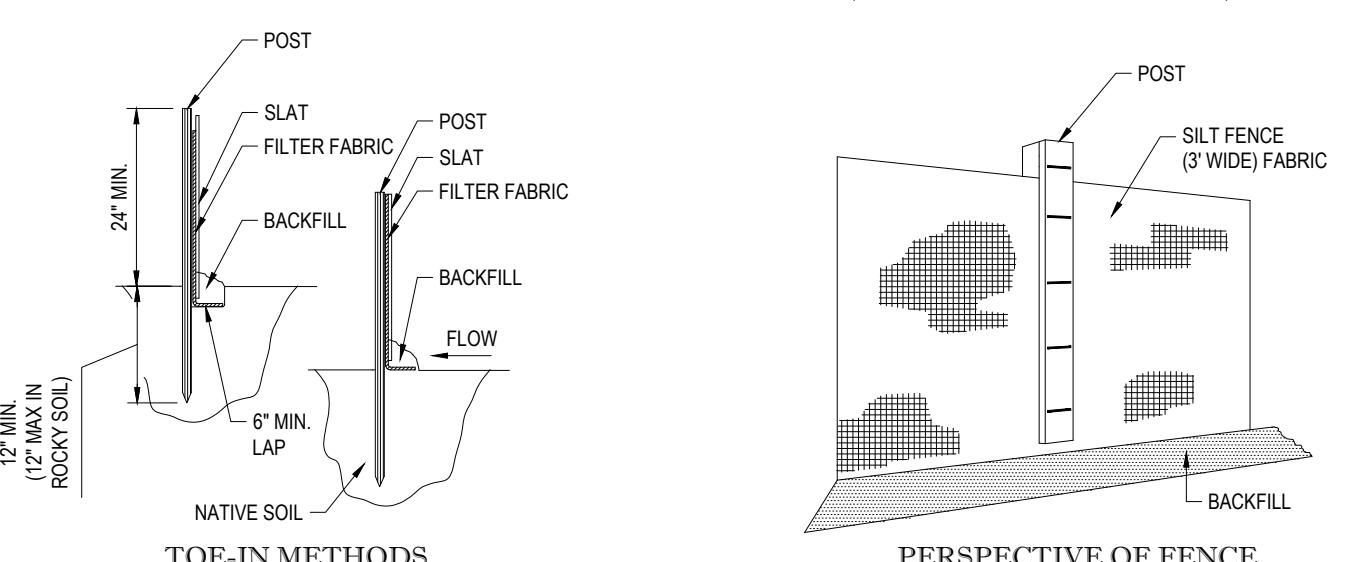
EROSION CONTROL BARRIER SHALL CONSIST OF BOTH COMPOST SOCK AND SILT FENCE UNLESS OTHERWISE NOTED



COMPOST SOCK



DETAIL OF POST ATTACHMENT (PRE-ASSEMBLED PRIOR TO INSTALLATION)



SILT FENCE

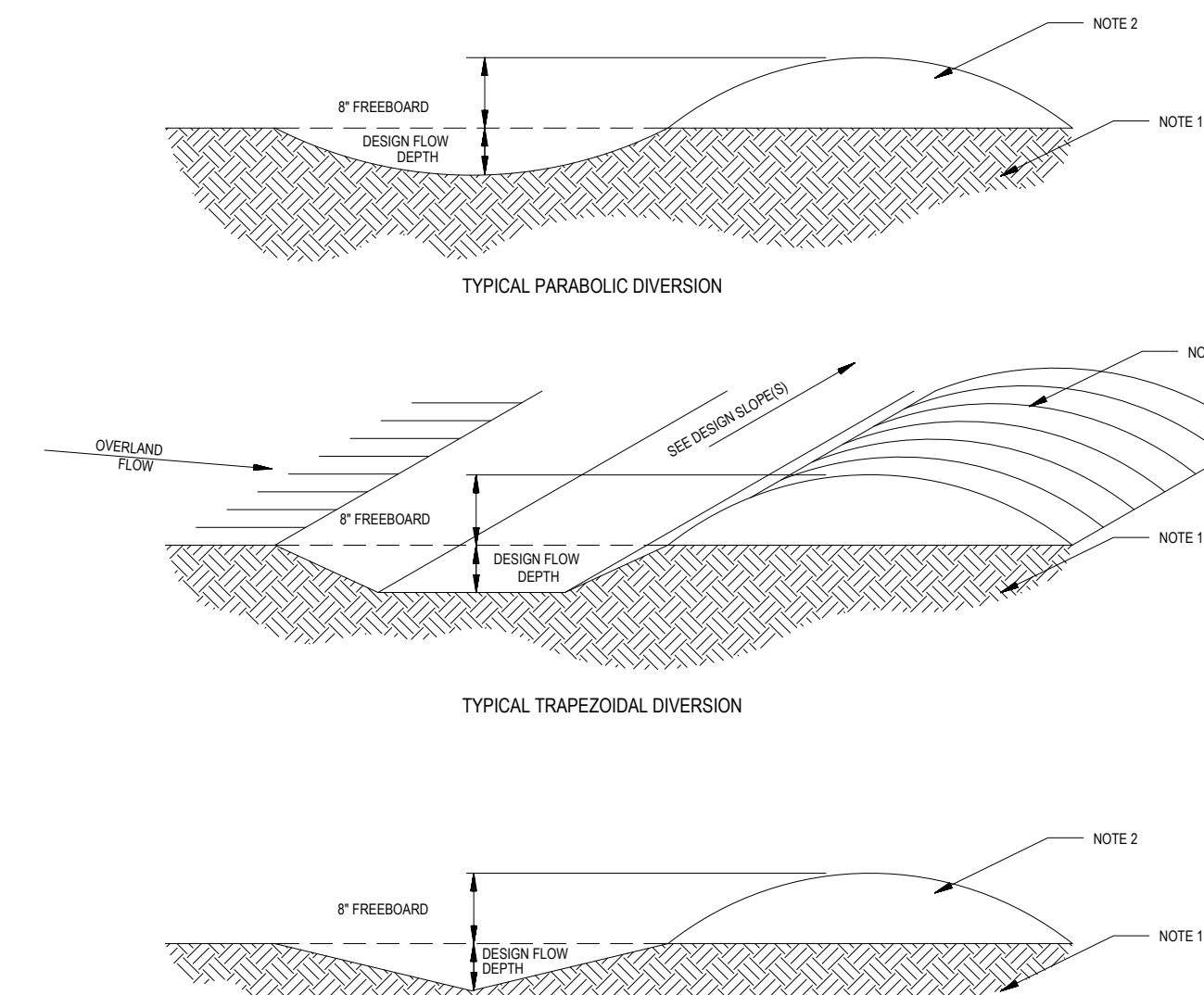
- INSTALLATION:
- EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
 - UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.
 - COMBINATION OF COMPOST SOCK AND SILT FENCE SHALL BE USED AS NOTED ON THE PLAN.
 - WIRE BACK SILT FENCE TO BE USED IN AREAS WITHIN 50 FOOT WETLAND BUFFER, SEE DETAIL (THIS SHEET).

EROSION CONTROL BARRIER (ECB) DETAIL

N.T.S.

TEMPORARY STOCKPILE DETAIL

N.T.S.



DIVERSION BERM / SWALE

N.T.S.

SEDIMENTATION/SILT FENCE WITH WIRE BACKING

N.T.S.

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 09/22/2020
CAD ID: W171219_SSS_EROS

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR



SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SHEET NUMBER:

C-604

REVISION 5 - 03/07/2024

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1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/AS
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3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	JKNM
5	03/07/2024	PB AMENDMENT	CFD

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 CAD ID.: W171219_SSS_EROS

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FOR

CAPITAL GROUP
 PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

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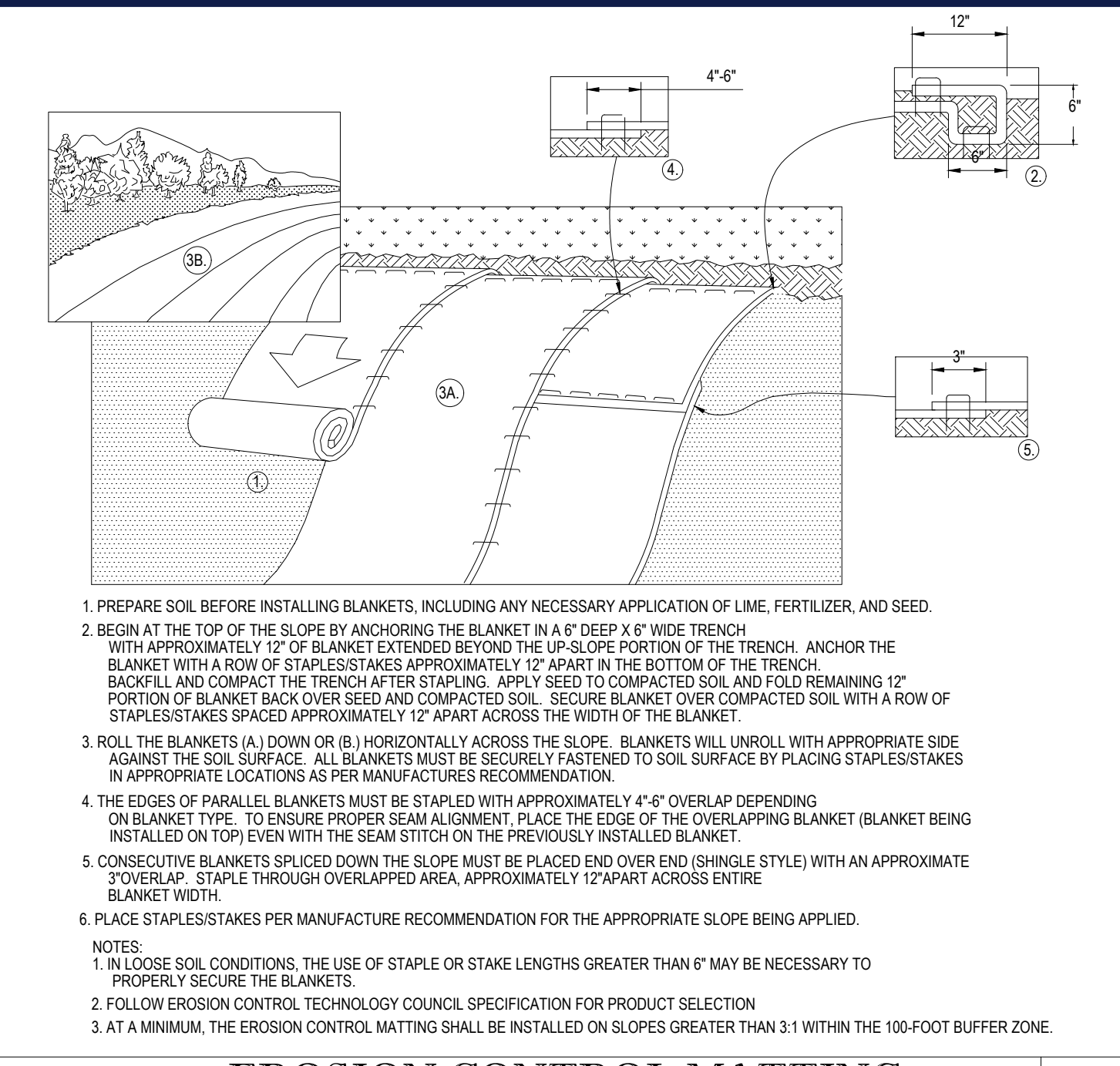
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J. KUCIACH
 JOHN KUCIACH
 PROFESSIONAL ENGINEER
 LICENSE NO. 20177
 EXPIRES 12/31/2024
 MASSACHUSETTS
 BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS

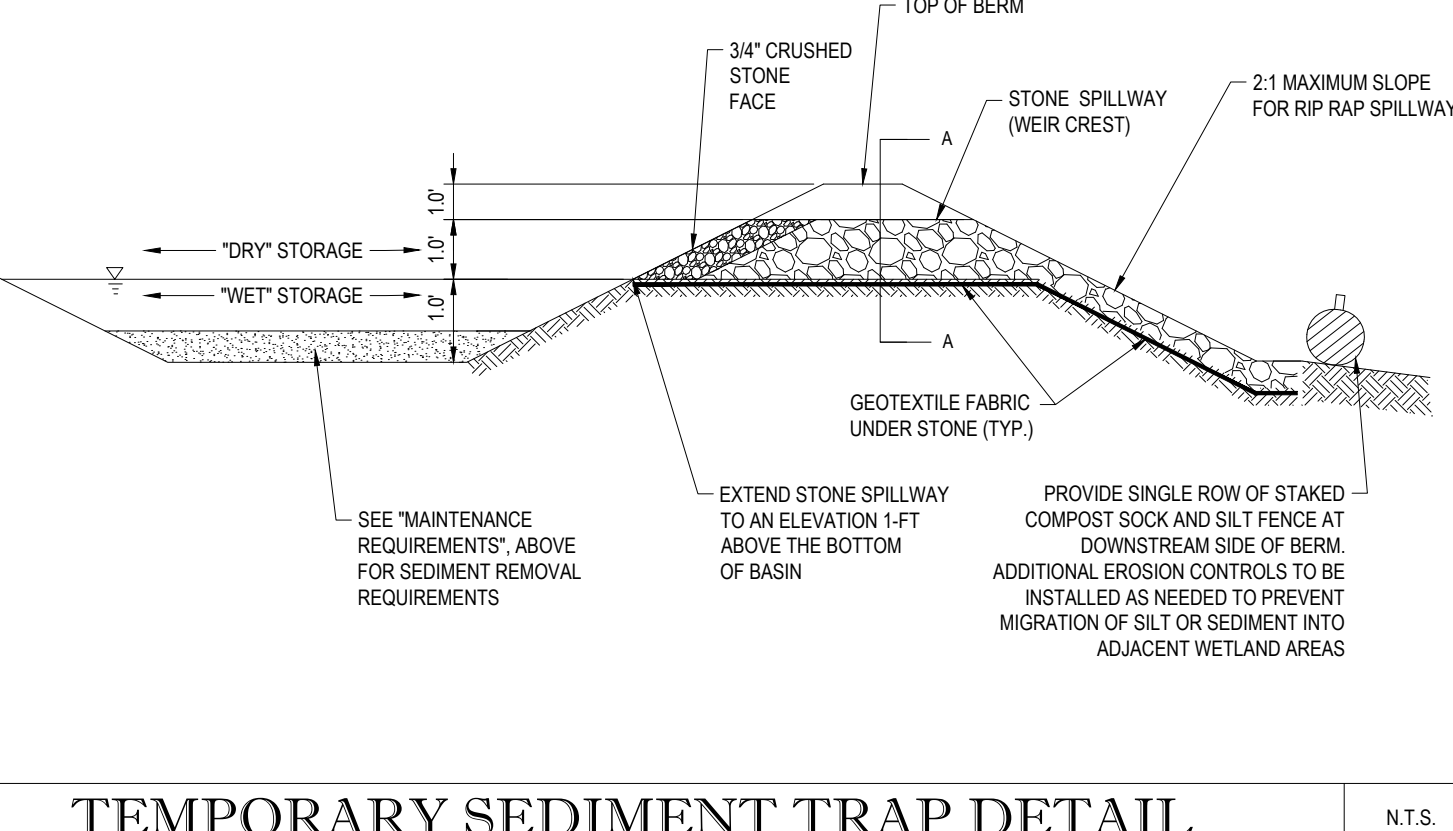
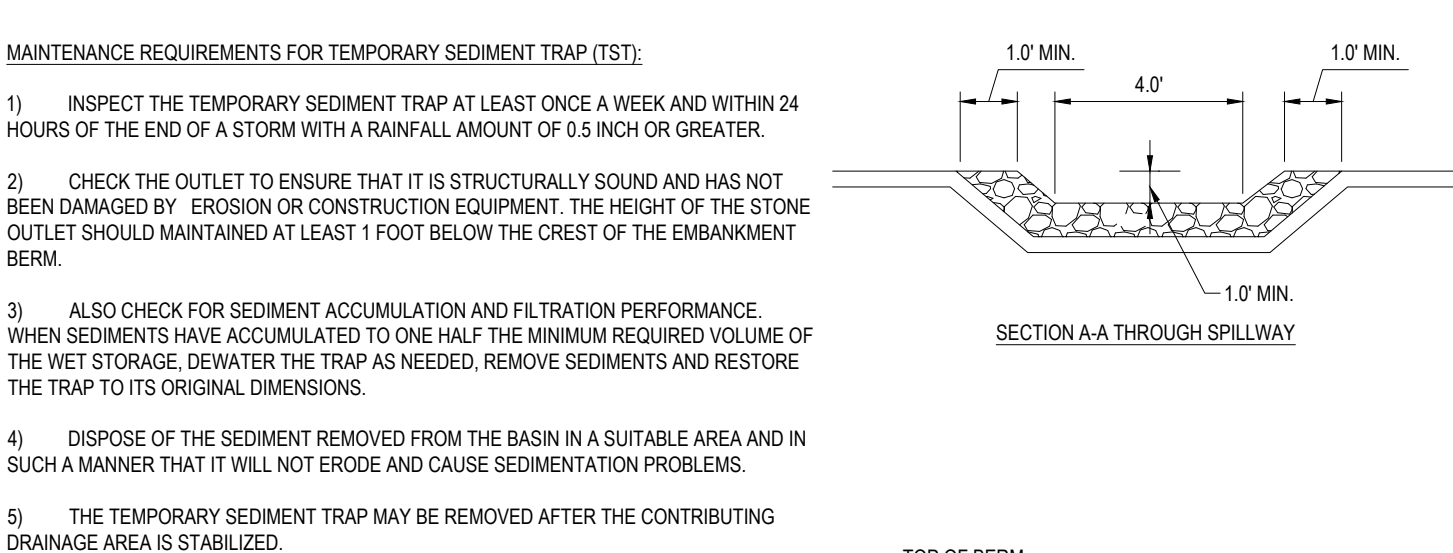
SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SHEET NUMBER:
C-605

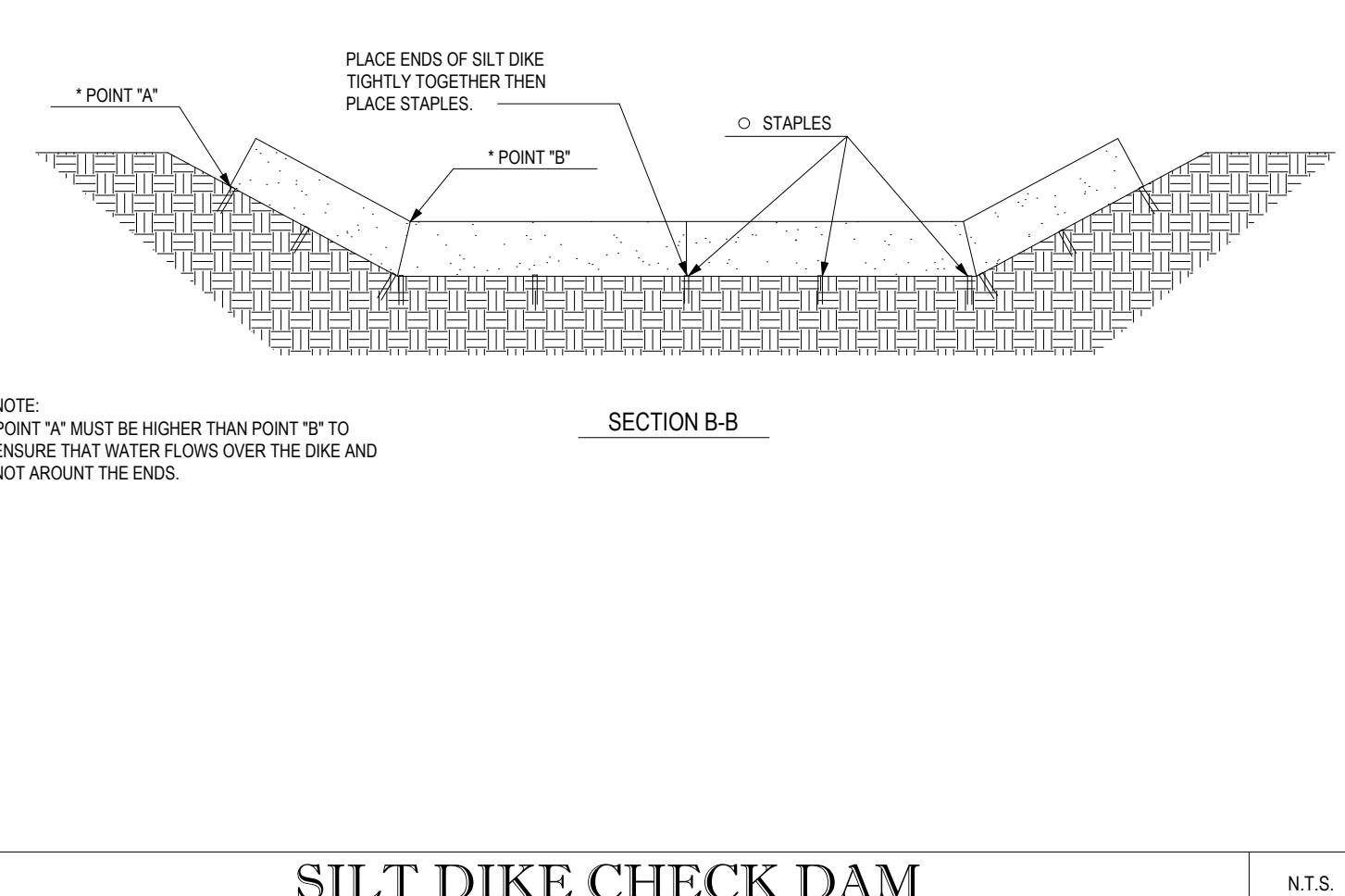
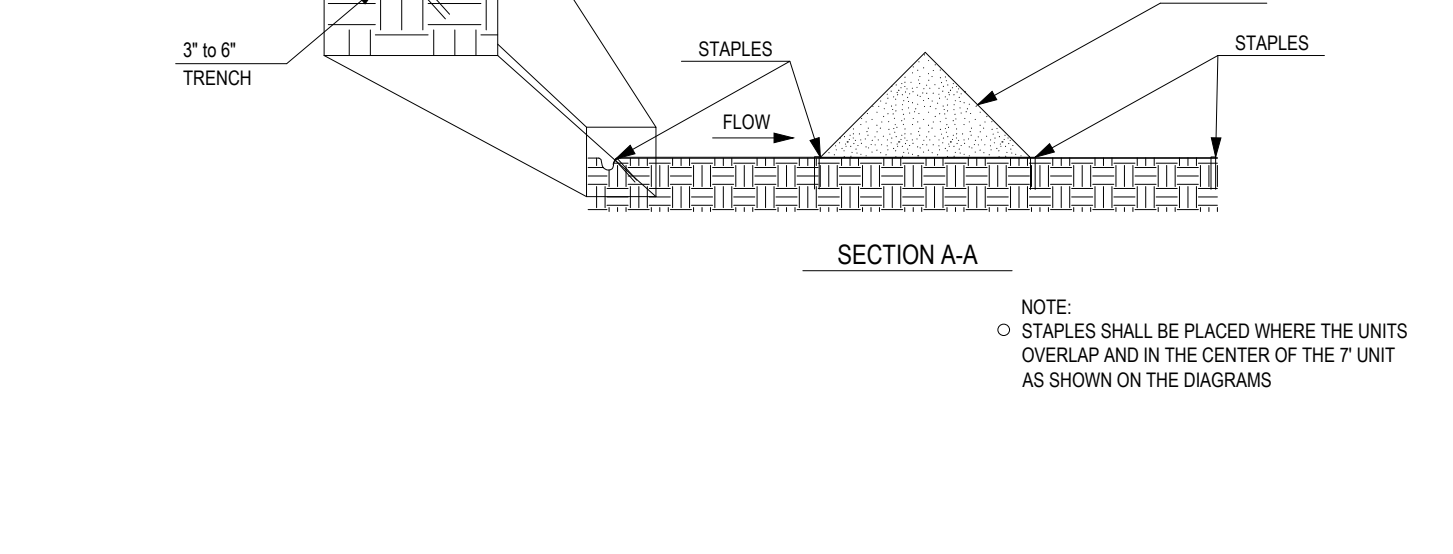
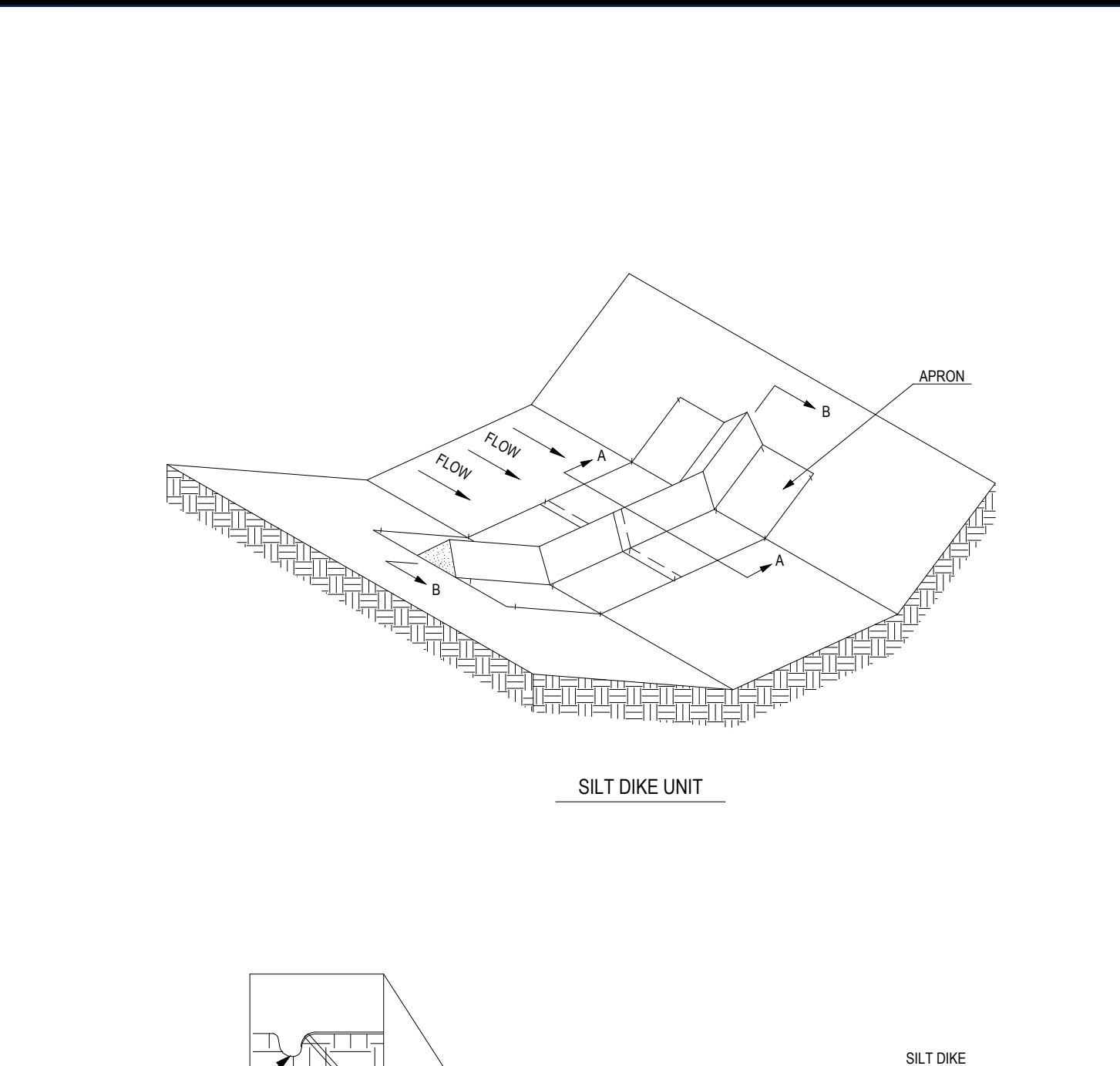
REVISION 5 - 03/07/2024



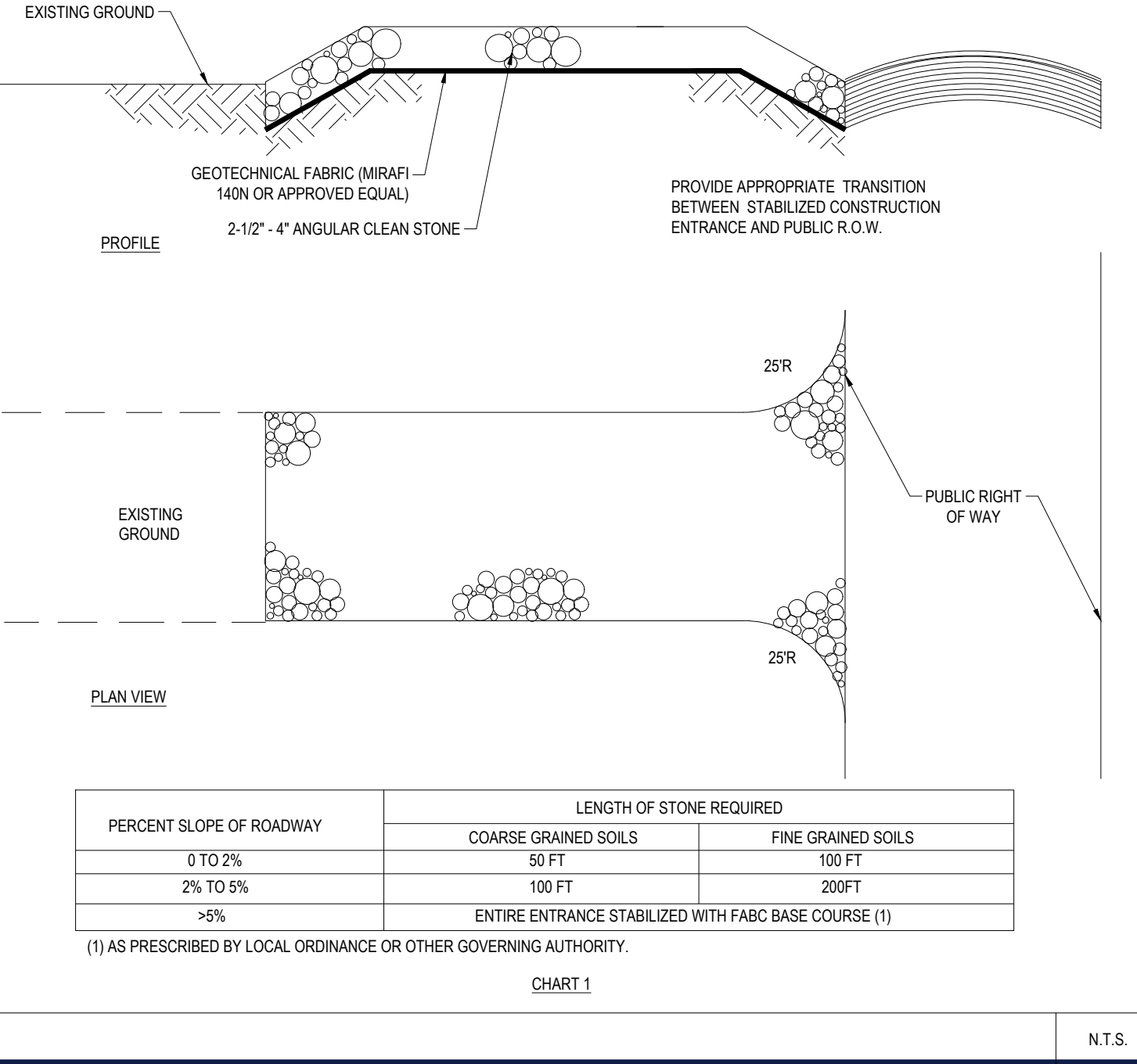
EROSION CONTROL MATTING N.T.S.



TEMPORARY SEDIMENT TRAP DETAIL N.T.S.



SILT DIKE CHECK DAM N.T.S.



STONE CHECK DAM-DURING CONSTRUCTION N.T.S.



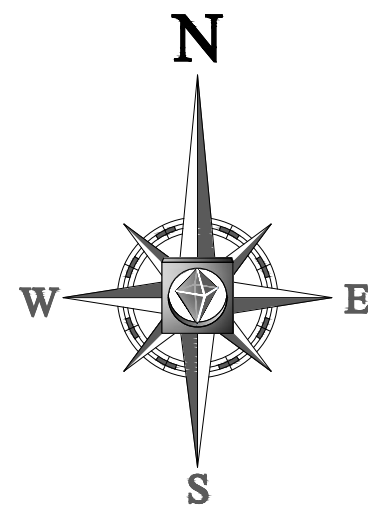
DEWATERING GEOTEXTILE FILTER BAG DETAIL N.T.S.

CHART 1

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

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**CITY OF WORCESTER SUBDIVISION
LANDSCAPE REQUIREMENTS**

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
SECTION X: REQUIRED IMPROVEMENTS	J. IF ANY LOT HAS LESS THAN 1 NATURAL TREE OF AT LEAST 5" IN DIAMETER WITHIN 20' OF THE STREET LINE AFTER COMPLETION OF THE GRADING AND BUILDING THEREON, THE BUILDER SHALL PLANT TREES HAVING A MINIMUM DIAMETER OF 2". THE TREES ON SAID LOT SHALL NUMBER AT LEAST 1 AND NOT MORE THAN 20' FROM THE STREET LINES AND NOT LESS THAN 5". 1. TREES SHALL BE SELECTED FROM THE "LIST OF RECOMMENDED STREET TREES" FOUND IN APPENDIX II. ADDITIONAL SPECIES MAY BE USED IF DESIRED, UPON THE APPROVAL OF THE BOARD. TREE SPECIES SHALL BE RESISTANT TO ASIAN LONHORNED BEETLE AND EMERALD ASH BORER.	PROVIDED

**LANDSCAPE SCHEDULE
(STREET TREES ONLY)**

KEY	SYM.	QT Y.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES						
GTKD	(Symbol)	18	GLEDITSIA TRICANTHOS INERMIS 'GRANDES'	STREET KEEPER HONEYLOCUST	2 1/2'-3' CAL.	B+B
LSR	(Symbol)	16	LIQUIDAMBAR STYRACIFLUA 'HAPPRADE'	SEEDLESS SWEETGUM	2 1/2'-3' CAL.	B+B
NS	(Symbol)	23	NYSSA SYLVATICA	SOURGUM OR TUPELO	2 1/2'-3' CAL.	B+B
QP	(Symbol)	18	QUERCUS PALUSTRIS	PIN OAK	2 1/2'-3' CAL.	B+B
QR	(Symbol)	19	QUERCUS RUBRA	RED OAK	2 1/2'-3' CAL.	B+B
ZS	(Symbol)	23	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2'-3' CAL.	B+B
SUBTOTAL: 117						
ORNAMENTAL TREES						
CLCC	(Symbol)	8	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD HAWTHORN	2 1/2' CAL.	B+B
SUBTOTAL: 8						

EVERGREEN TREE KEY

- (Symbol) AF
- (Symbol) ABC
- (Symbol) PM
- (Symbol) JCS
- (Symbol) JV
- (Symbol) TOT
- (Symbol) TOE

SEED MIX KEY

- (Symbol) PROPOSED HYDROSEED
- (Symbol) PROPOSED CONSERVATION/WILDLIFE SEED MIX
- (Symbol) PROPOSED BASIN SEED MIX

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PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP PROPERTIES

SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

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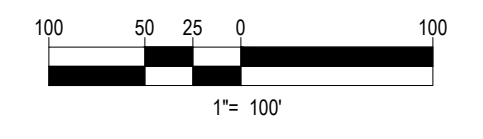
SHEET TITLE:
OVERALL LANDSCAPE PLAN & SHEET INDEX
SHEET NUMBER:
C-701

REVISION 5 - 03/07/2024

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SHEET C-702



REFER TO SHEET C-706 FOR LANDSCAPE NOTES AND DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



TOWNSHIP OF HOLDEN
CITY OF WORCESTER

EDGE OF WETLAND

EXIST. 120" WIDE MASSACHUSETTS ELECTRIC EASEMENT

CONSERVATION RESTRICTION AREA (15.5 ACRES)

(CONSERVATION RESTRICTION AREA)
LAND IN WORCESTER: 842,485 SQ. FT. OR 14.749 ACRES
LAND IN HOLDEN: 31,687 SQ. FT. OR 0.727 ACRES
TOTAL AREA: 874,172 SQ. FT. OR 15.476 ACRES
6694-973; PLAN: 80;

PROP. FUTURE AMENITY SPACE WITH WALKWAY, PATIO AND PERGOLA

REFER TO SHEET C-705 FOR COURTYARD ENLARGEMENT

REFER TO SHEET C-705 FOR CLUBHOUSE ENLARGEMENT

SHEET C-704

PROP. FUTURE CLUBHOUSE AMENITY SPACE WITH PATIO, PICKLEBALL, HORSESHOES AND CROQUET

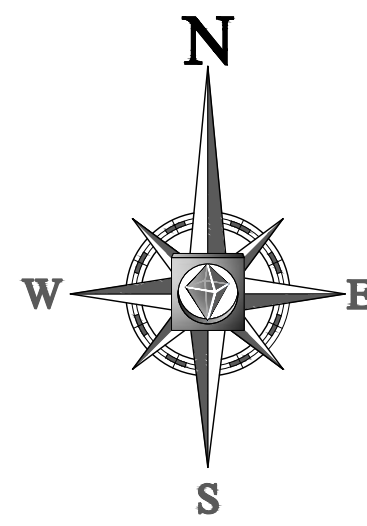
SHEET C-703

APPROXIMATE ZONING LINE
ZONE RS-10
ZONE RS-7

ZONE LINE (TYP.)

HOOSAC STREET
(UNCONSTRUCTED DRIVE ALONG ROAD NOT ON THE OFFICIAL MAP)

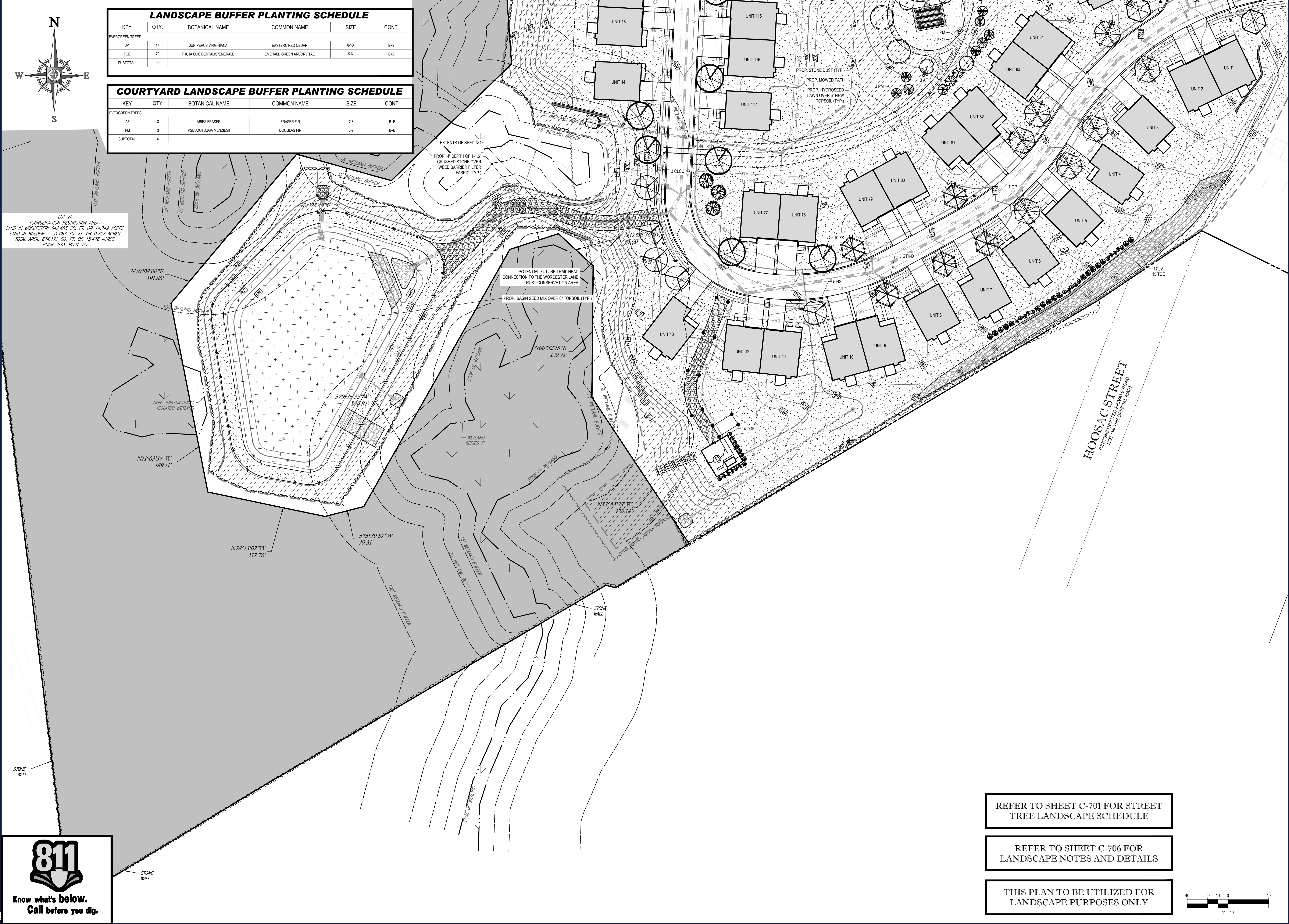
EDGE OF WETLAND



LANDSCAPE BUFFER PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
EVERGREEN TREES					
JV	17	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8-10'	B+B
TOE	29	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	5-6'	B+B
SUBTOTAL:	46				

COURTYARD LANDSCAPE BUFFER PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
EVERGREEN TREES					
AF	3	ABIES FRASERI	FRASER FIR	7-8'	B+B
PM	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-7'	B+B
SUBTOTAL:	6				

LOT 24
(CONSERVATION RESTRICTION AREA)
LAND IN WORCESTER: 642,485 SQ. FT. OR 14.749 ACRES
LAND IN HOLDEN: 31,687 SQ. FT. OR 0.727 ACRES
TOTAL AREA: 674,172 SQ. FT. OR 15.476 ACRES
BOOK: 973, PLAN: 80



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4	04/09/2021	PER CITY STAFF COMMENTS	AJS	JKNM
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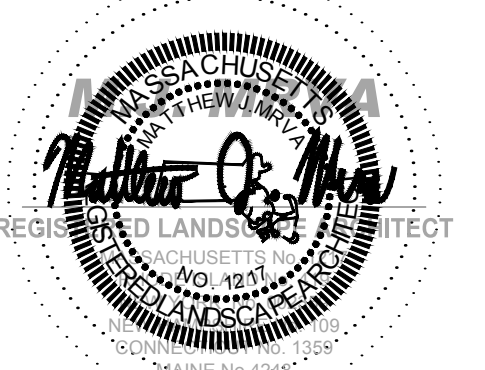
PROJECT:
PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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SHEET TITLE:
LANDSCAPE PLAN A

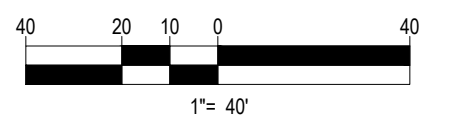
SHEET NUMBER:
C-702

REVISION 5 - 03/07/2024

REFER TO SHEET C-701 FOR STREET TREE LANDSCAPE SCHEDULE

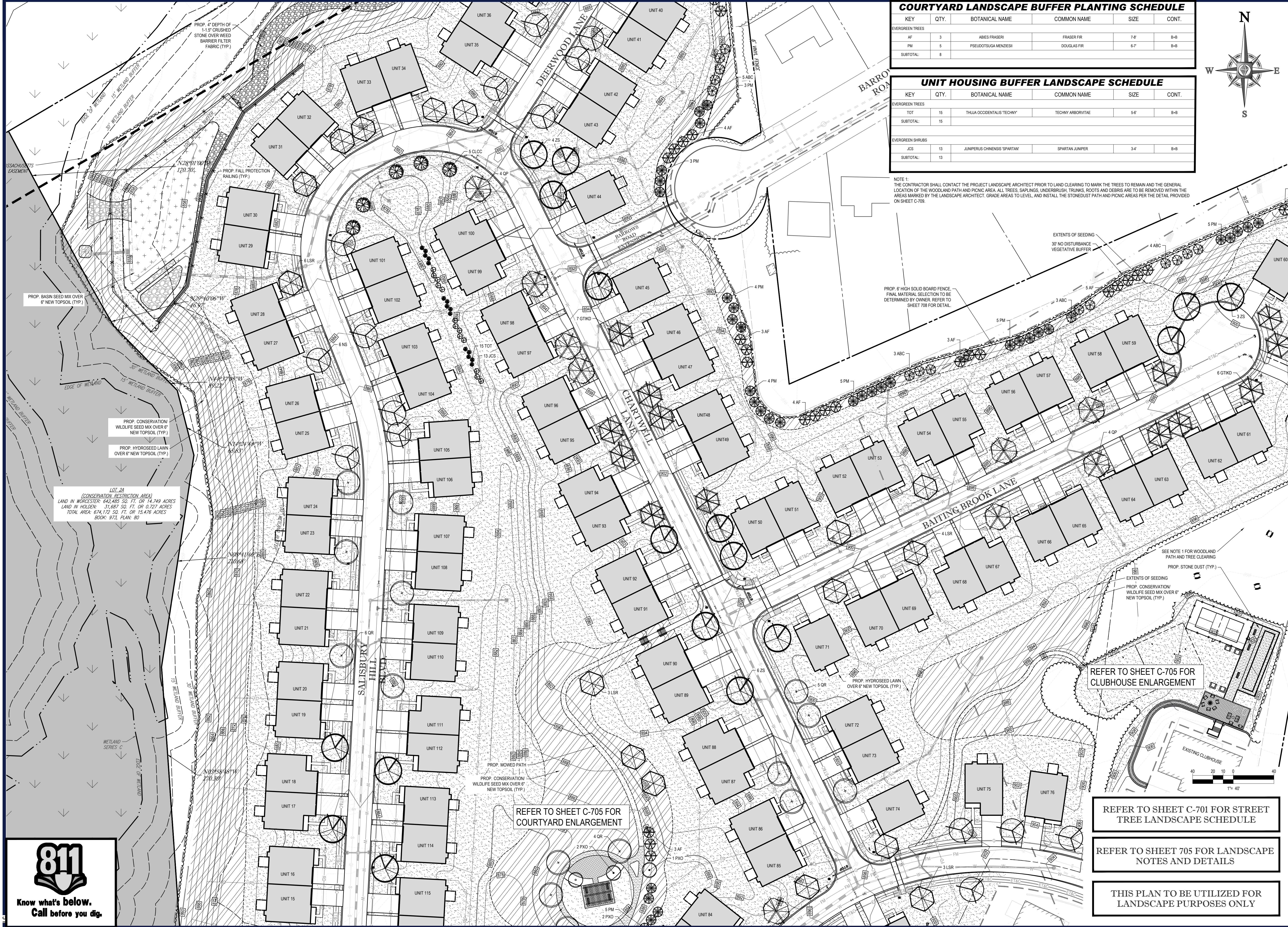
REFER TO SHEET C-706 FOR LANDSCAPE NOTES AND DETAILS

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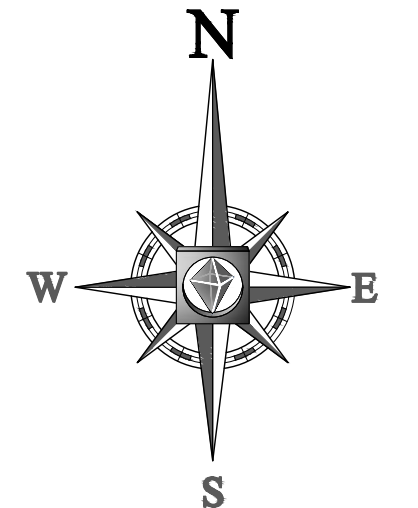
COURTYARD LANDSCAPE BUFFER PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
EVERGREEN TREES					
AF	3	ABIES FRASERI	FRASER FIR	7'-8"	B-B
PM	5	PSEUDOTSUGA MENZESII	DOUGLAS FIR	6'-7"	B-B
SUBTOTAL:	8				

UNIT HOUSING BUFFER LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
EVERGREEN TREES					
TOT	15	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	5'-6"	B-B
SUBTOTAL:	15				
EVERGREEN SHRUBS					
JCS	13	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	3'-4"	B-B
SUBTOTAL:	13				

NOTE 1: THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT PRIOR TO LAND CLEARING TO MARK THE TREES TO REMAIN AND THE GENERAL LOCATION OF THE WOODLAND PATH AND PICNIC AREA. ALL TREES, SAPLINGS, UNDERBUSH, TRUNKS, ROOTS AND DEBRIS ARE TO BE REMOVED WITHIN THE AREAS MARKED BY THE LANDSCAPE ARCHITECT. GRADE AREAS TO LEVEL, AND INSTALL THE STONEDUST PATH AND PICNIC AREAS PER THE DETAIL PROVIDED ON SHEET C-709.



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REVISIONS

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2	09/09/20	PER CITY STAFF COMMENTS	AJS	NEM
3	11/12/2020	PER CITY STAFF COMMENTS	AJS	AJS
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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
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PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

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SHEET TITLE:

LANDSCAPE PLAN B

SHEET NUMBER:
C-703

REVISION 5 - 03/07/2024

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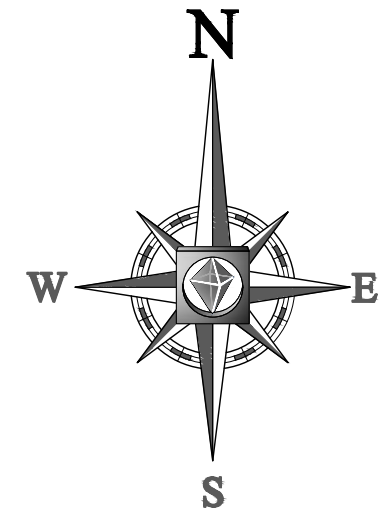
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LANDSCAPE BUFFER PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
EVERGREEN TREES					
ABC	18	ABIES CONCOLOR	WHITE FIR	6-7	B+B
AF	27	ABIES FRASERI	FRASER FIR	7-8	B+B
PM	34	PSEUDOTSUGA MENZESII	DOUGLAS FIR	6-7	B+B
SUBTOTAL	79				

REFER TO SHEET C-706 FOR
LANDSCAPE NOTES AND DETAILS

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

REFER TO SHEET C-701 FOR STREET
TREE LANDSCAPE SCHEDULE



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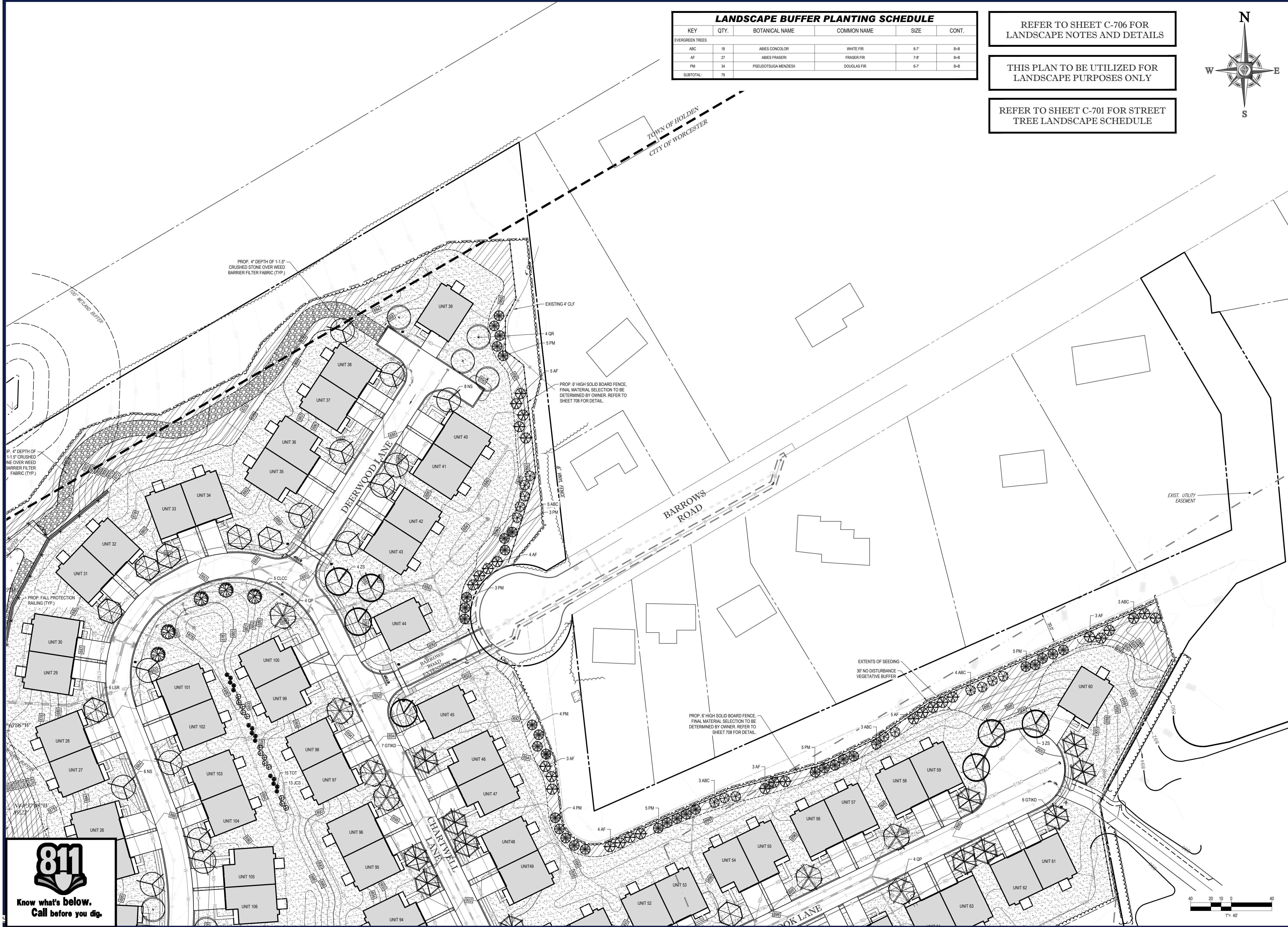
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FOR
CAPITAL GROUP PROPERTIES
SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

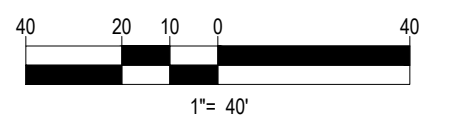
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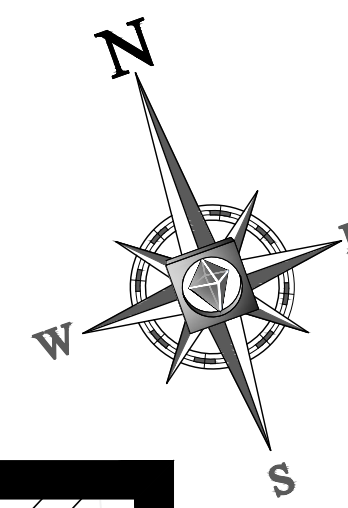
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LANDSCAPE PLAN C
SHEET NUMBER:
C-704
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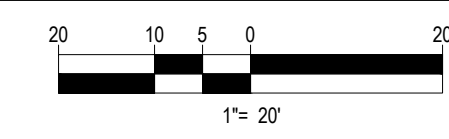
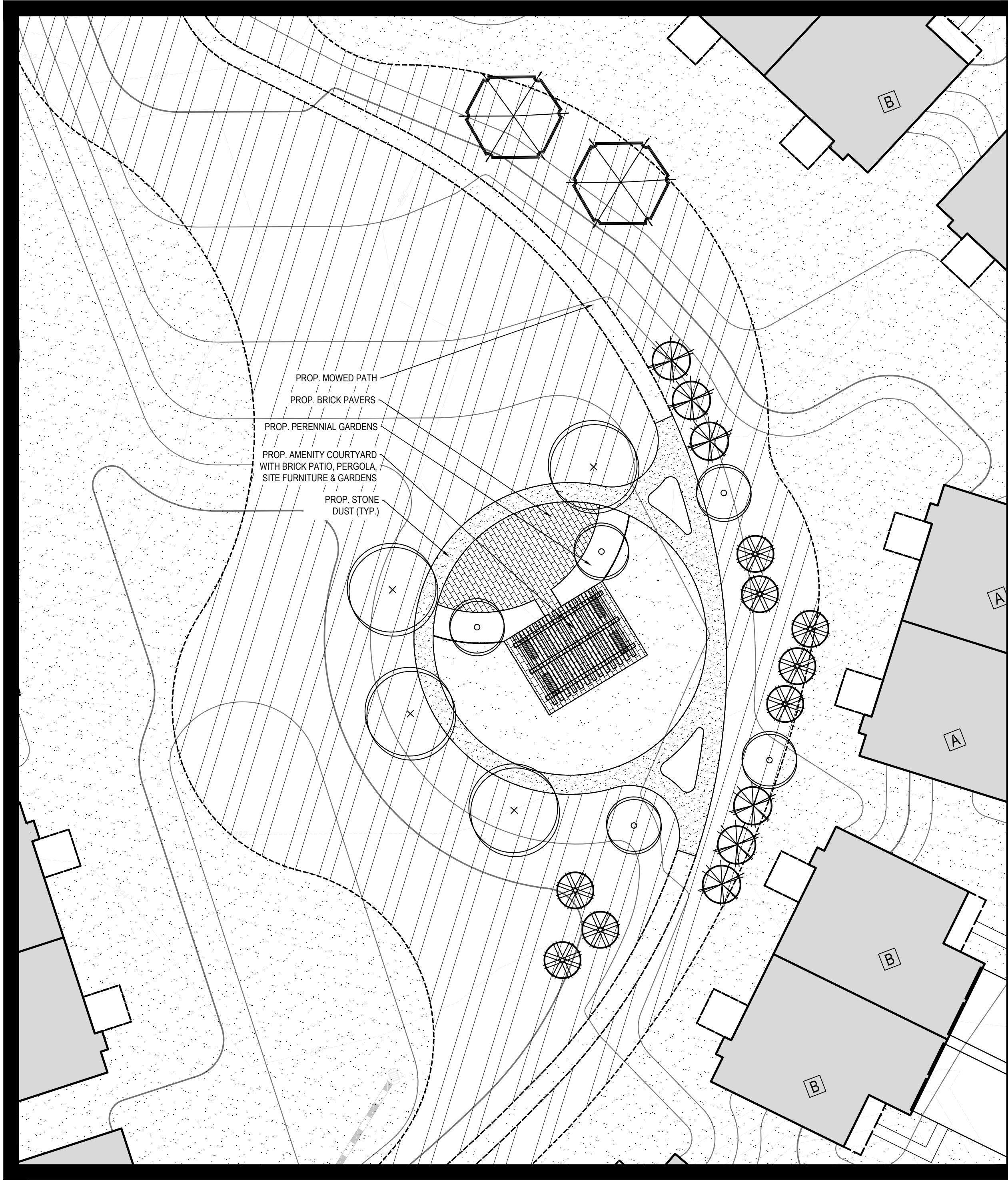
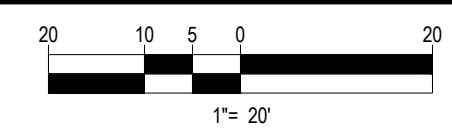
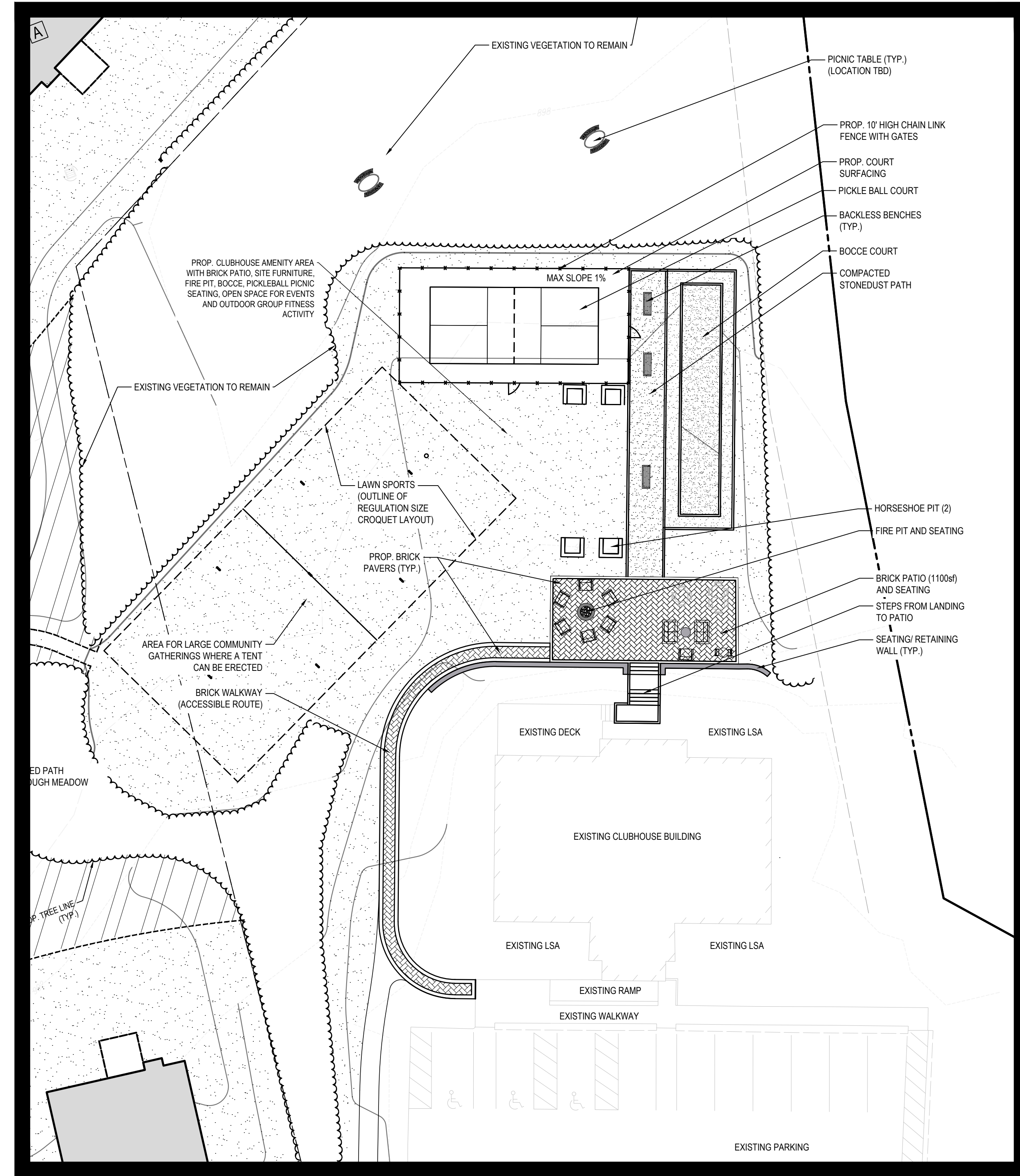
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PROJECT:
PROPOSED SITE PLAN DOCUMENTS
 FOR
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SHEET TITLE:
AMENITY AREA ENLARGEMENTS
 SHEET NUMBER:
C-705
 REVISION 5 - 03/07/2024



REFER TO SHEET C-706 FOR LANDSCAPE NOTES AND DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER TO SHEET C-701 FOR STREET TREE LANDSCAPE SCHEDULE

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LANDSCAPE SPECIFICATIONS

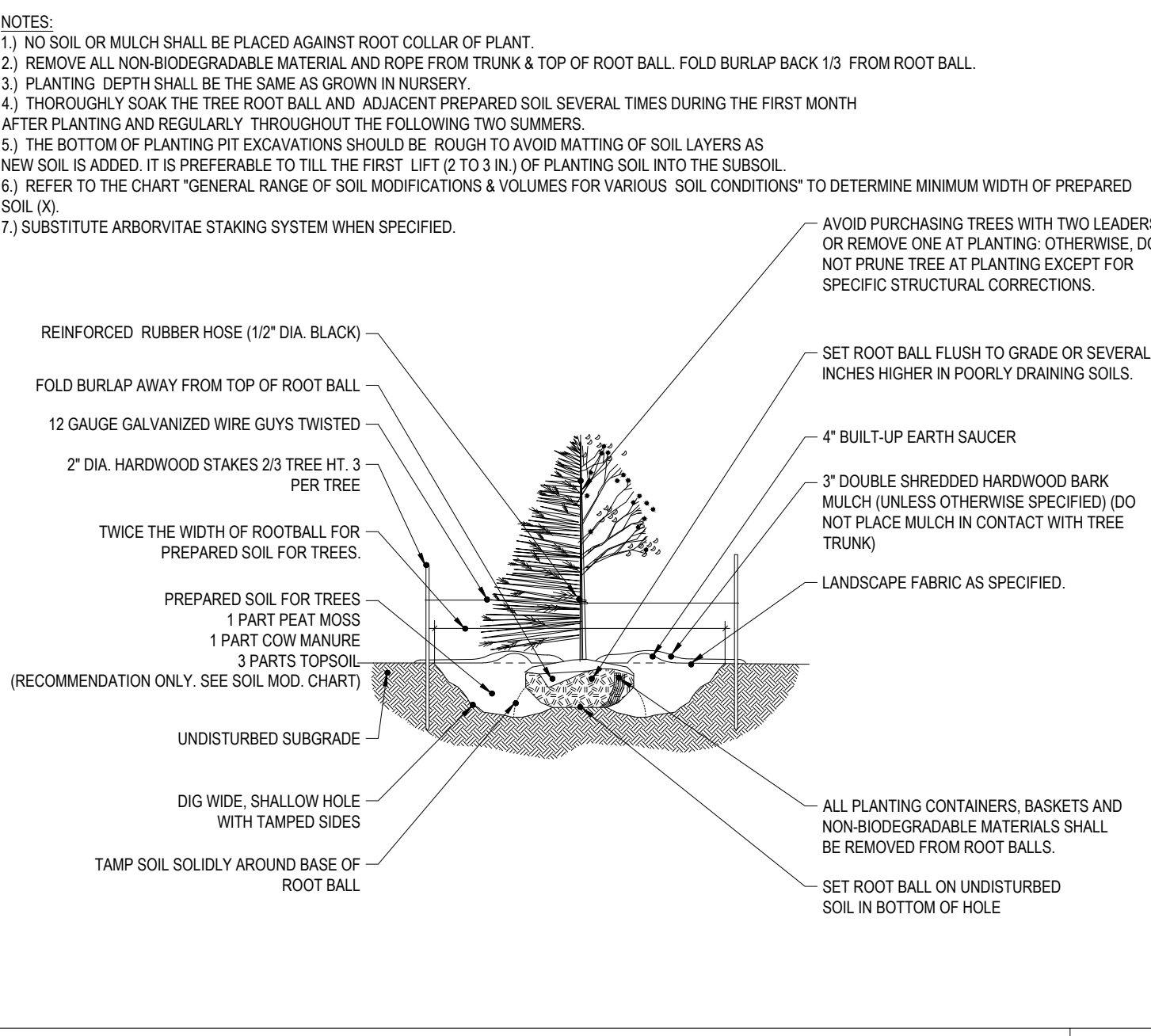
- SCOPE OF WORK**
 - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS**
 - GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
 - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
- FERTILIZER**
 - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 5% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- PLANT MATERIAL**
 - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
 - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND TAGS. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4" WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

- GENERAL WORK PROCEDURES**
 - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS**
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY.
 - CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION**
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - A FORTY-EIGHT (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY YISH-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8") ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS**
 - CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12" USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT MORE THAN 40% CLAY OR SILT BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF AVAILABLE IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- FINISHED GRADING**
 - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING**
 - CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE ON-SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL. TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.A.):
 - 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER
 - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

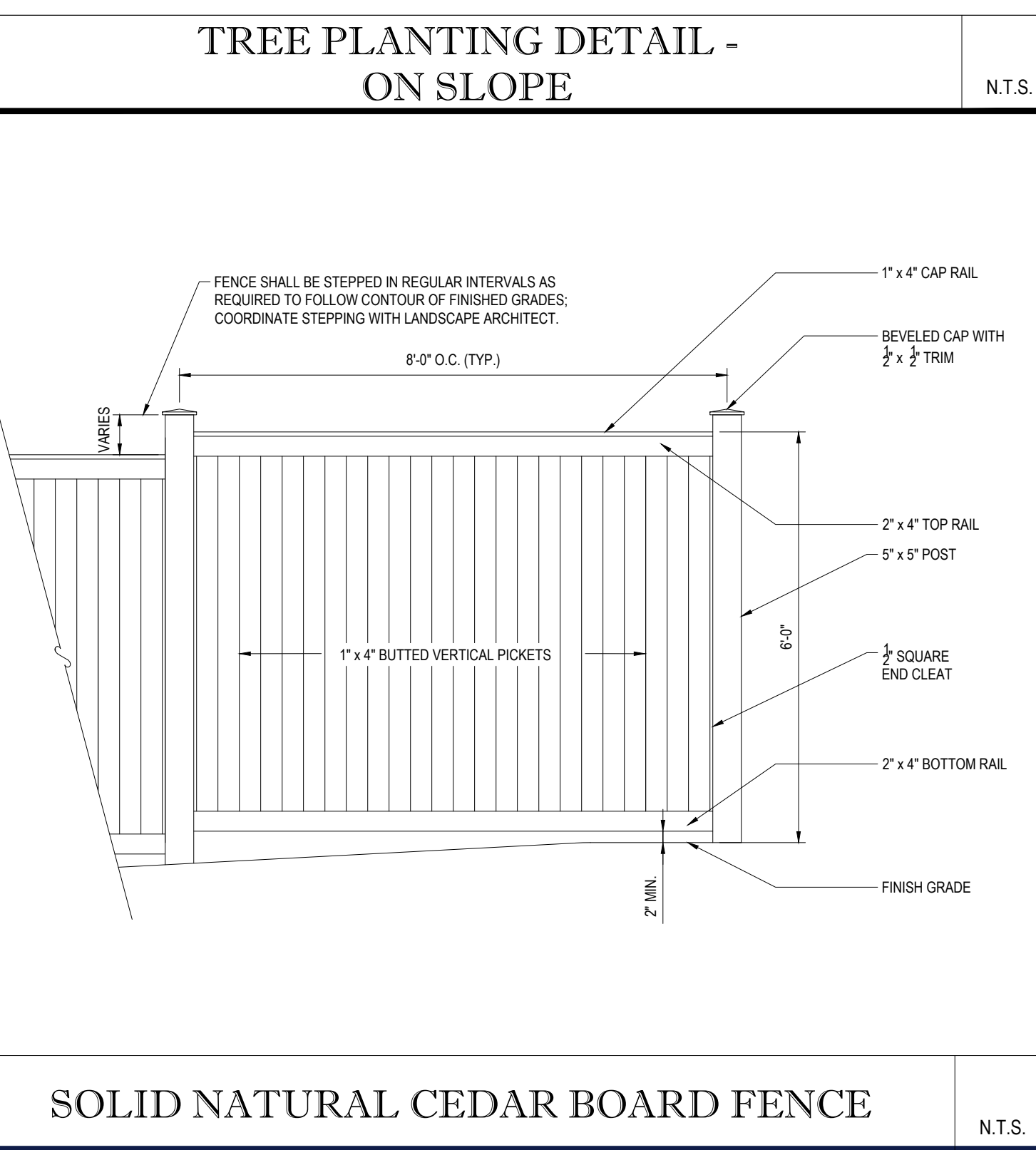
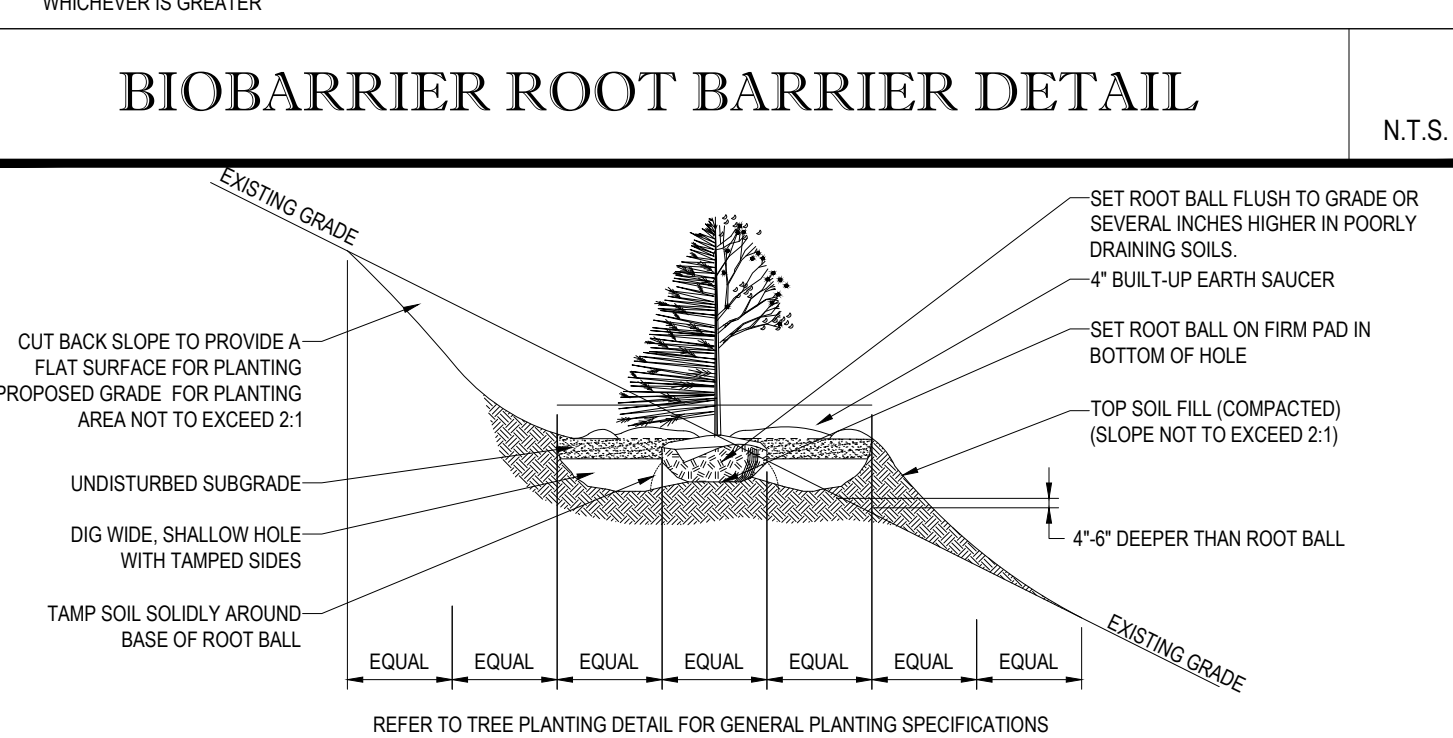
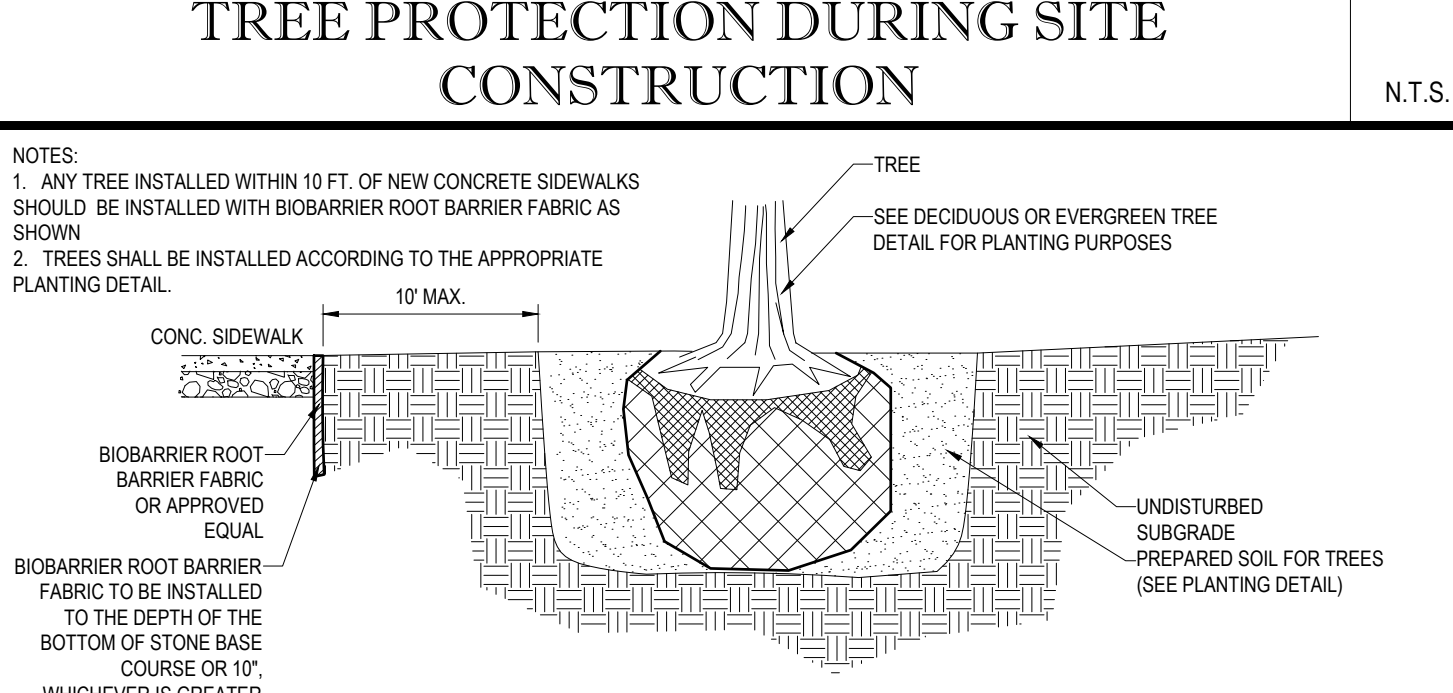
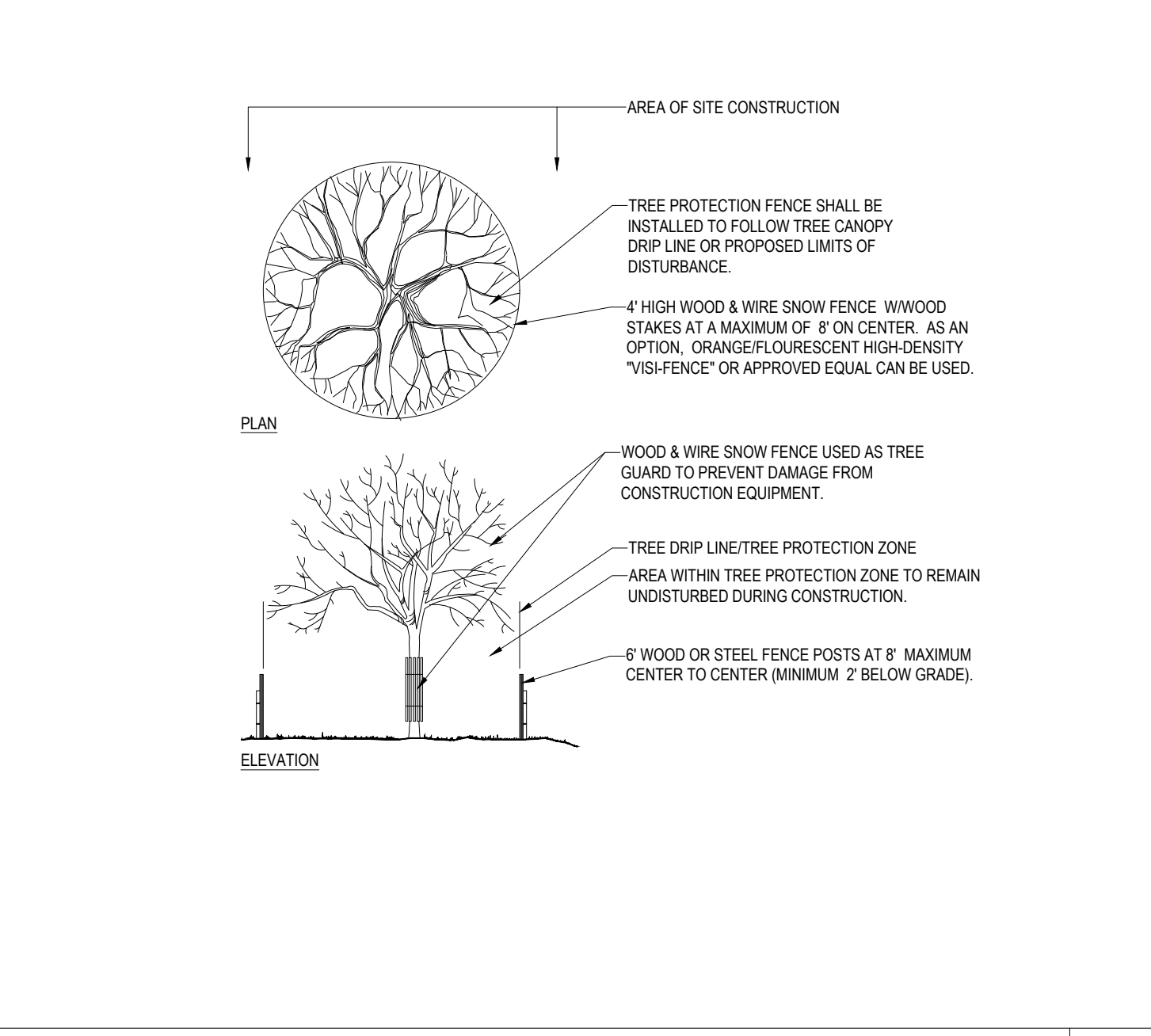
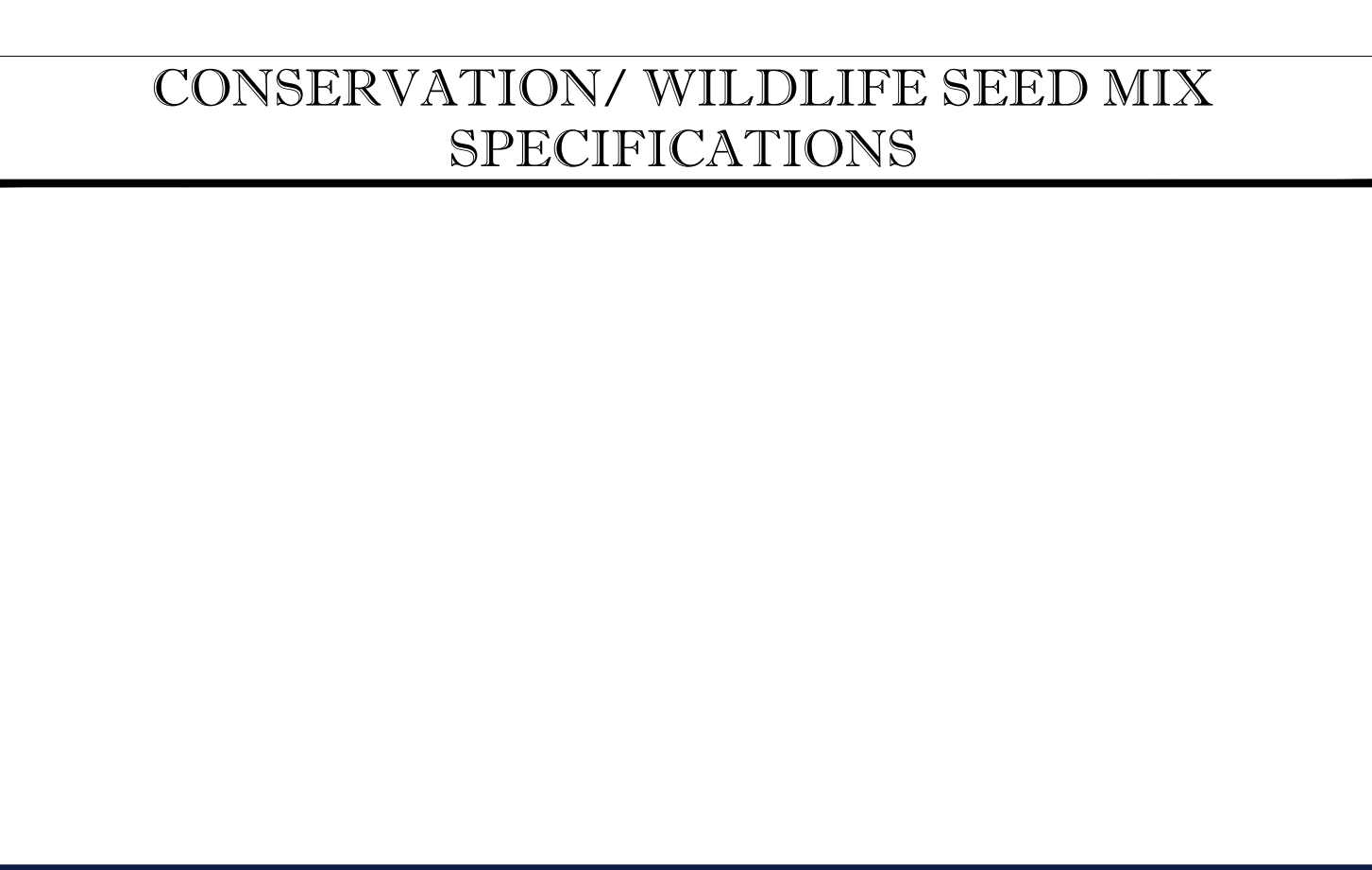
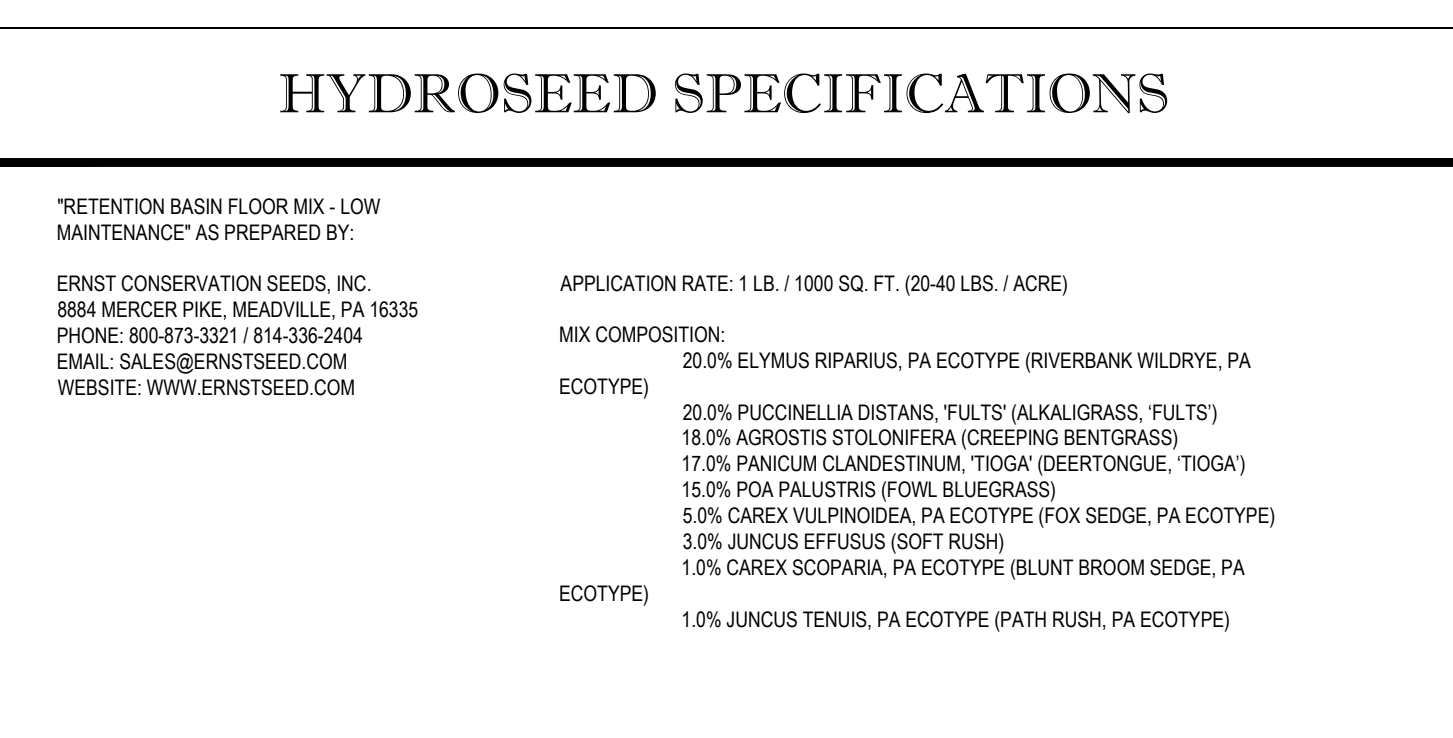
- THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.**
- PLANTING**
 - INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
 - ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN CUTS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
 - ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSPECTED, INSTALLED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
 - PLANTS: MARCH 15 TO DECEMBER 15
 - LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
 - PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
 - FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERIA	QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA	TULIA TOMENTOSA
LIRODENDRON TULIPIFERA	ZELKOVA VARIETIES
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT FIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 - 1 PART PEAT MOSS
 - 1 PART COMPOSTED COW MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME
 - 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
 - 2 TABLETS PER 1 GALLON PLANT
 - 3 TABLETS PER 5 GALLON PLANT
 - 4 TABLETS PER 15 GALLON PLANT
 - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
 - FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLEAS BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
 - ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
 - GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
 - NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
 - ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE.
 - ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
 - TRANSPLANTING (WHEN REQUIRED)**
 - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
- WATERING**
 - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
 - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- GUARANTEE**
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
 - TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
 - LAWN SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOVING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLACING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.
- CLEANUP**
 - UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
 - THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- MAINTENANCE (ALTERNATIVE BID):**
 - A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



- TREE PLANTING DETAIL** N.T.S.
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
 - PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
 - SEEDING RATES:

PERENNIAL RYEGRASS	12 LB/1000 SQ FT
KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
RED FESCUE	12 LB/1000 SQ FT
SPREADING FESCUE	12 LB/1000 SQ FT
FERTILIZER (16-32-16)	2 LB/1000 SQ FT
LIQUID LIME	1 GAL/800 GAL
TANK TACKIFIER	35 LB/800 GAL
TANK FIBER MULCH	30 LB/1000 SQ FT
 - GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDS UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.



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DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 08/22/2020
CAD LID: UNSAVED DRAWING2

PROJECT:
PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP PROPERTIES

SALISBURY HILL
MAP #50, LOT #023
BLOCK 020 (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

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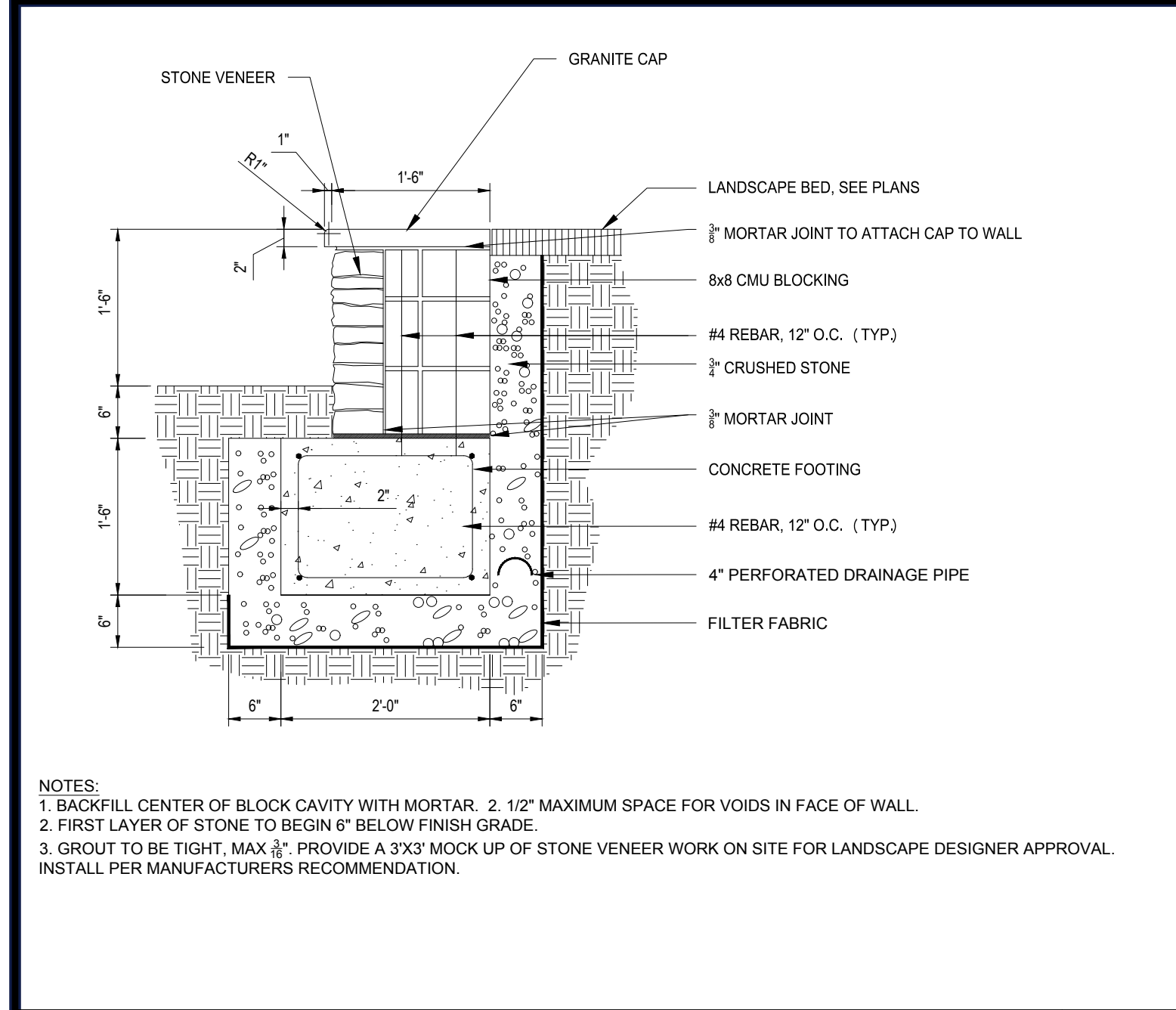
REGISTERED LANDSCAPE ARCHITECT
NO. 0217
MASSACHUSETTS
1988

SHEET TITLE:
LANDSCAPE NOTES & DETAILS

SHEET NUMBER:
C-706

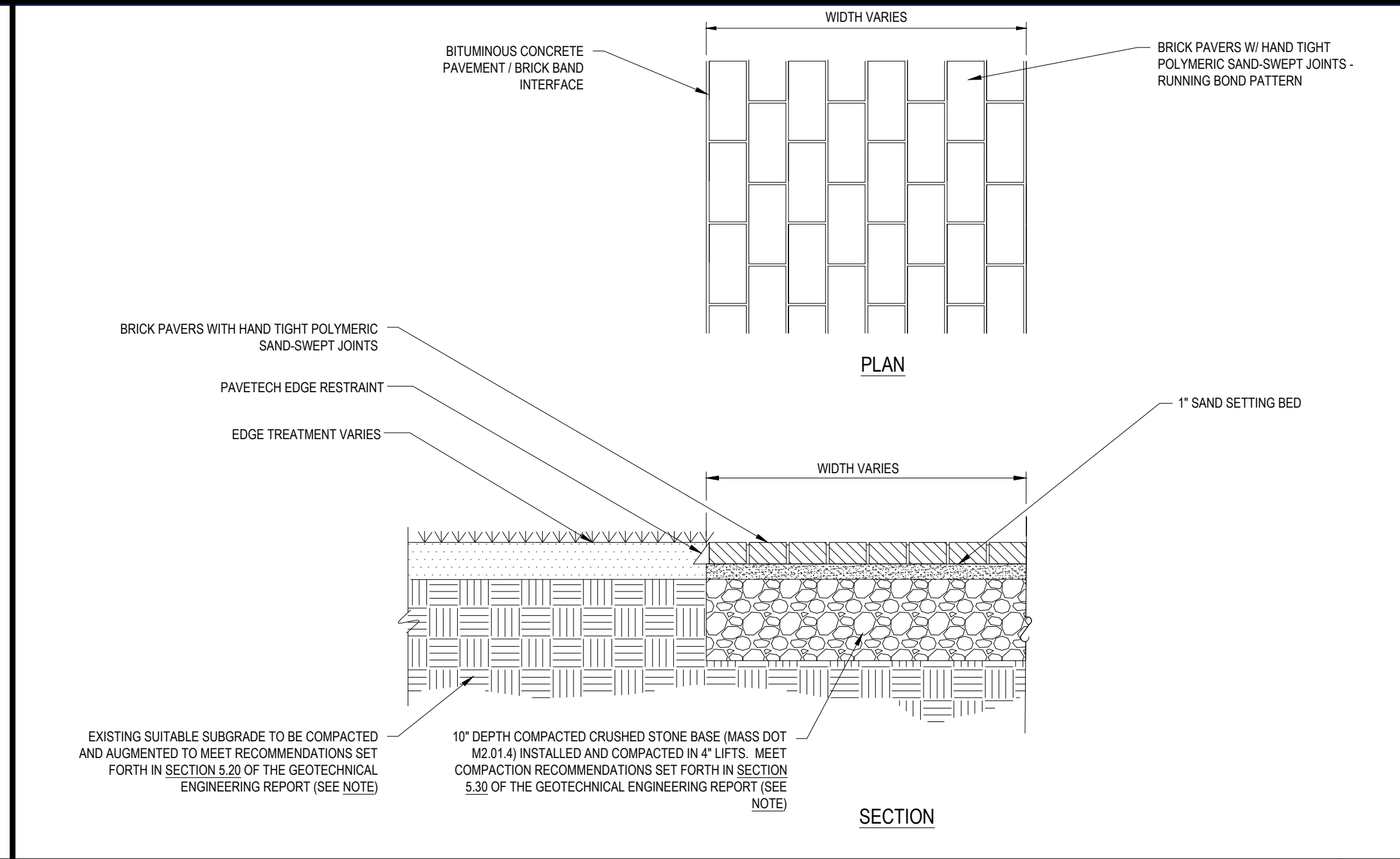
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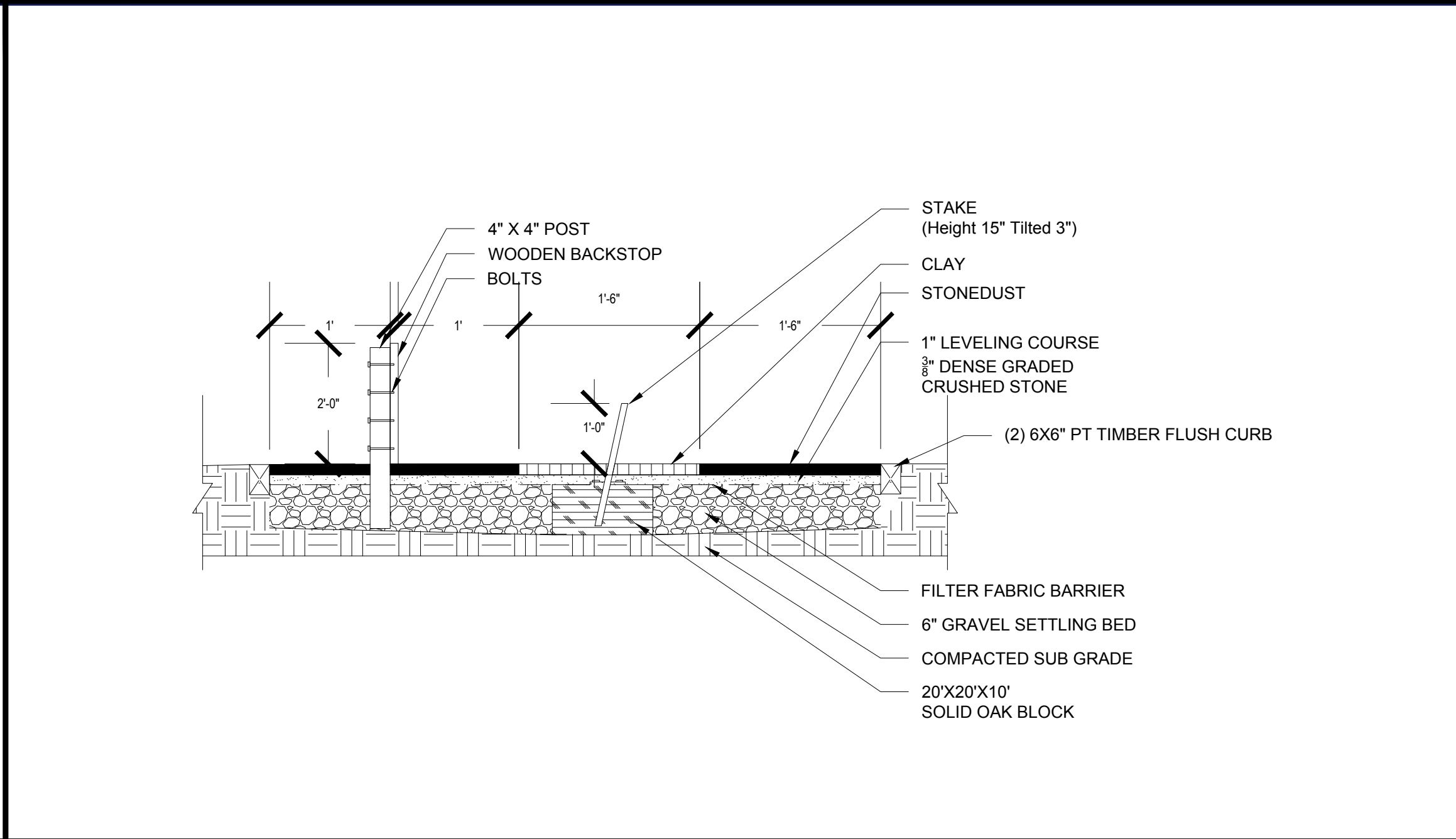


CONCRETE SEATWALL

N.T.S.

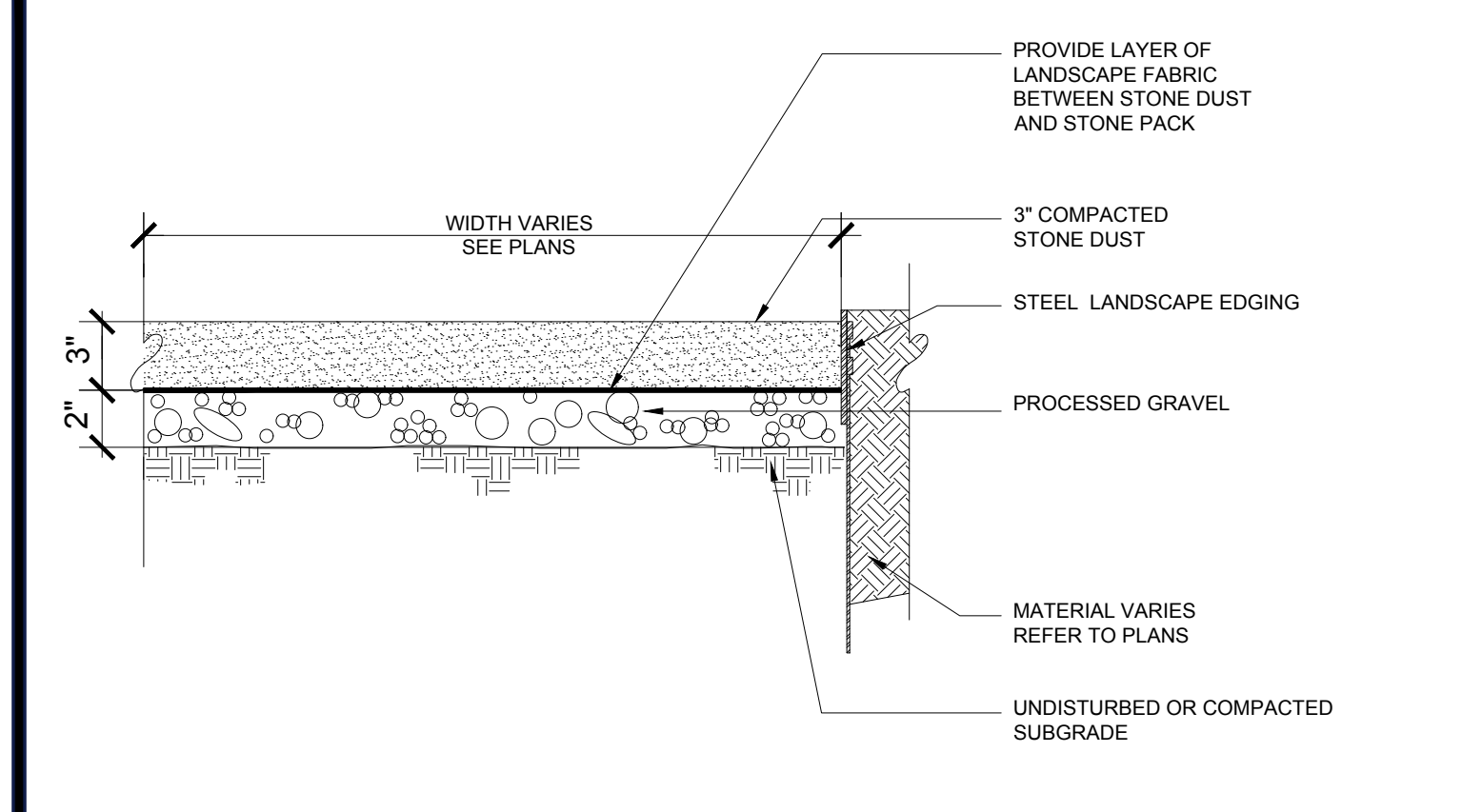


BRICK PAVERS ON SAND SETTING BED



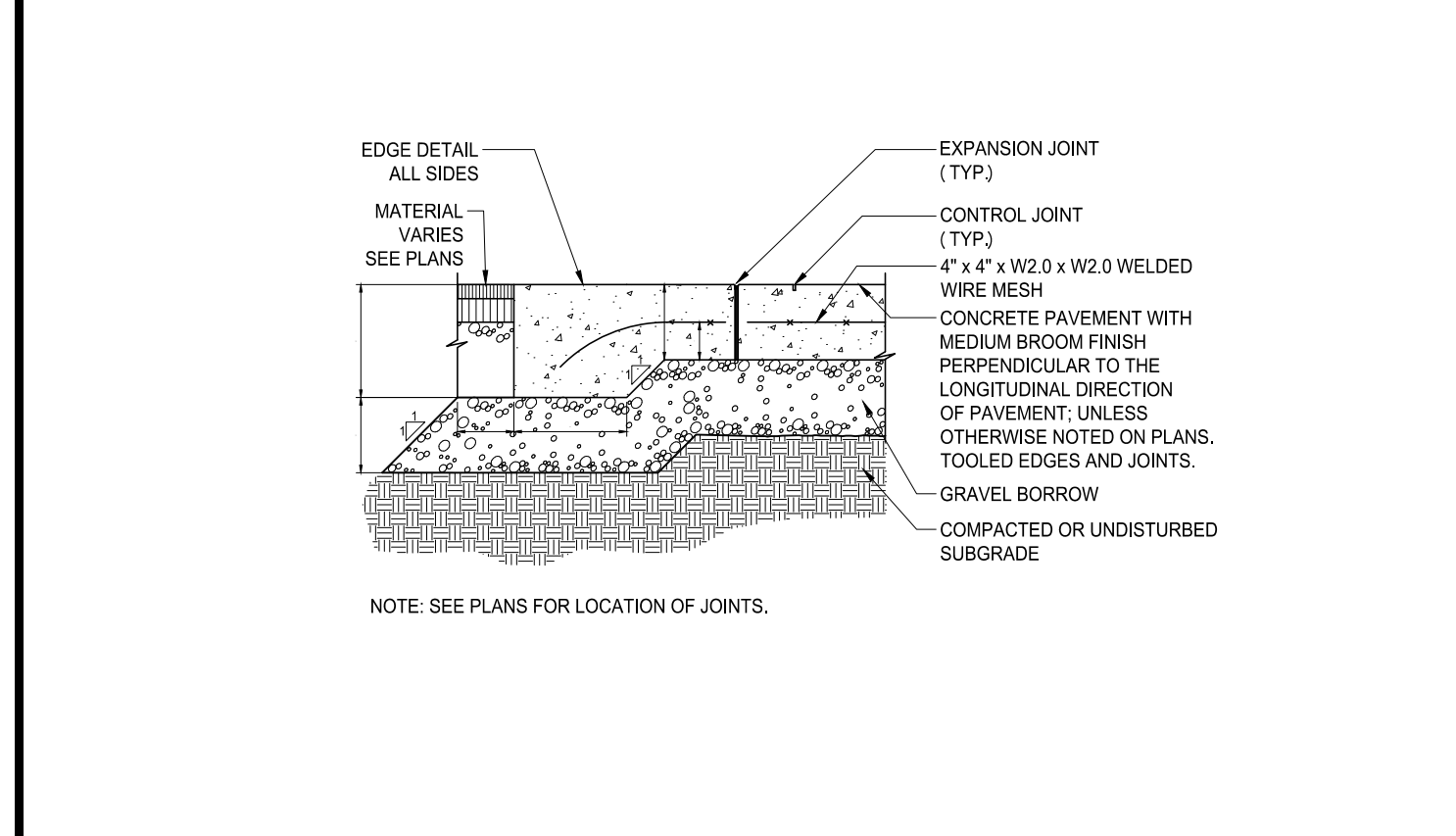
HORSESHOE PIT

N.T.S.



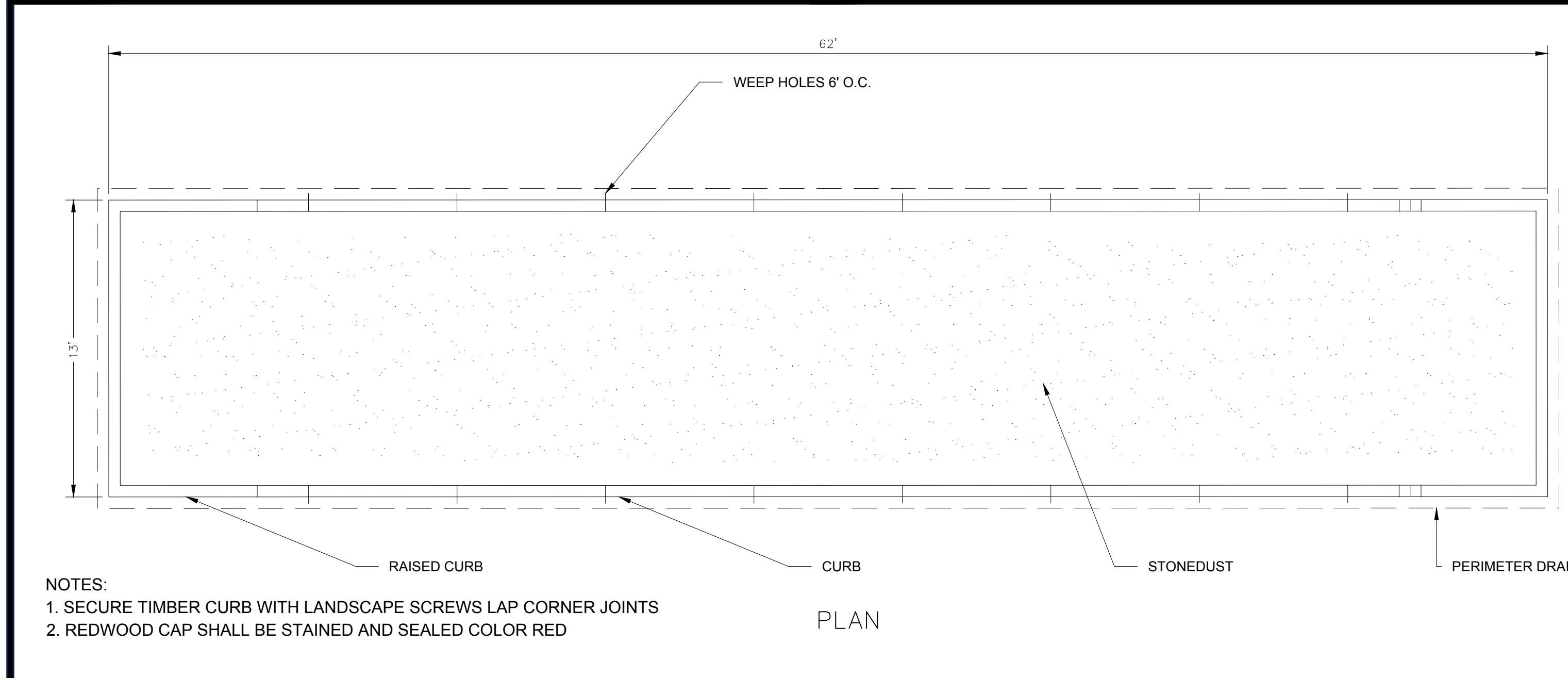
STONE DUST PATH

N.T.S.



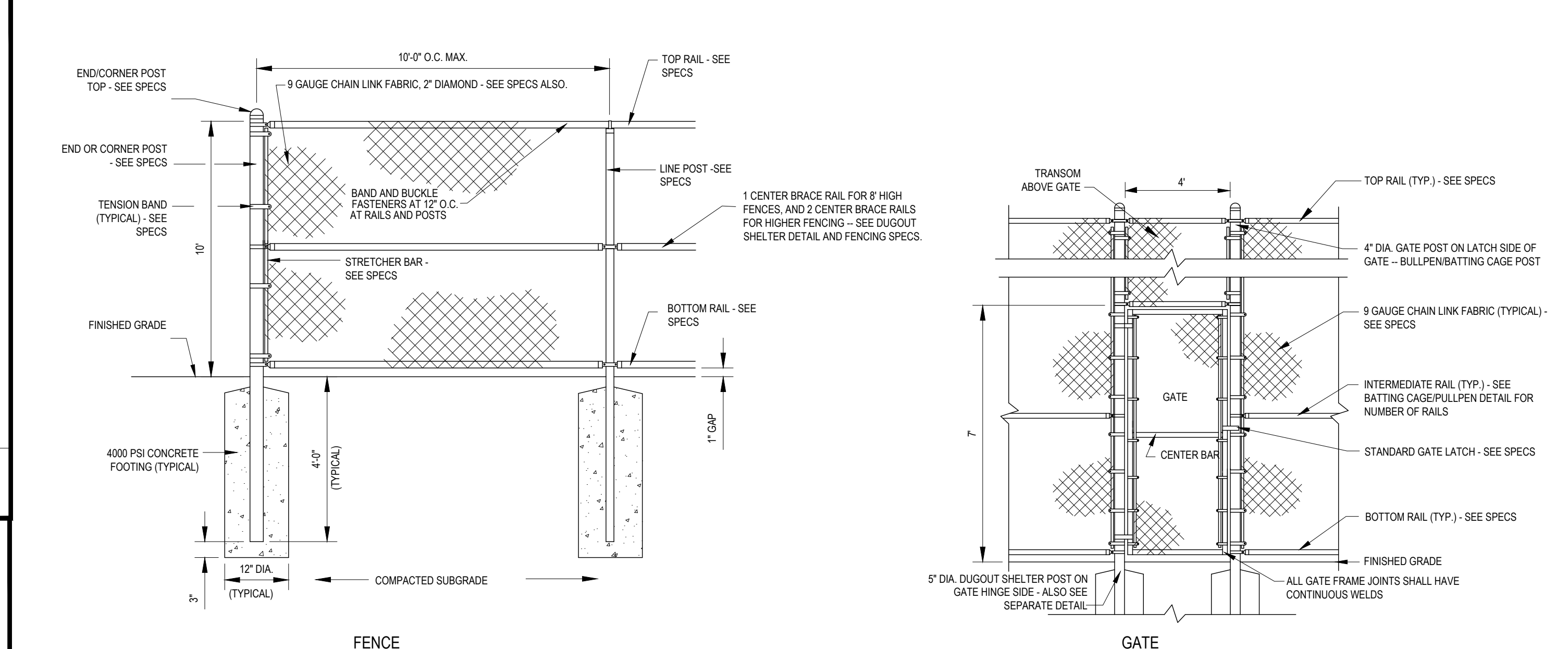
CONCRETE PAVING

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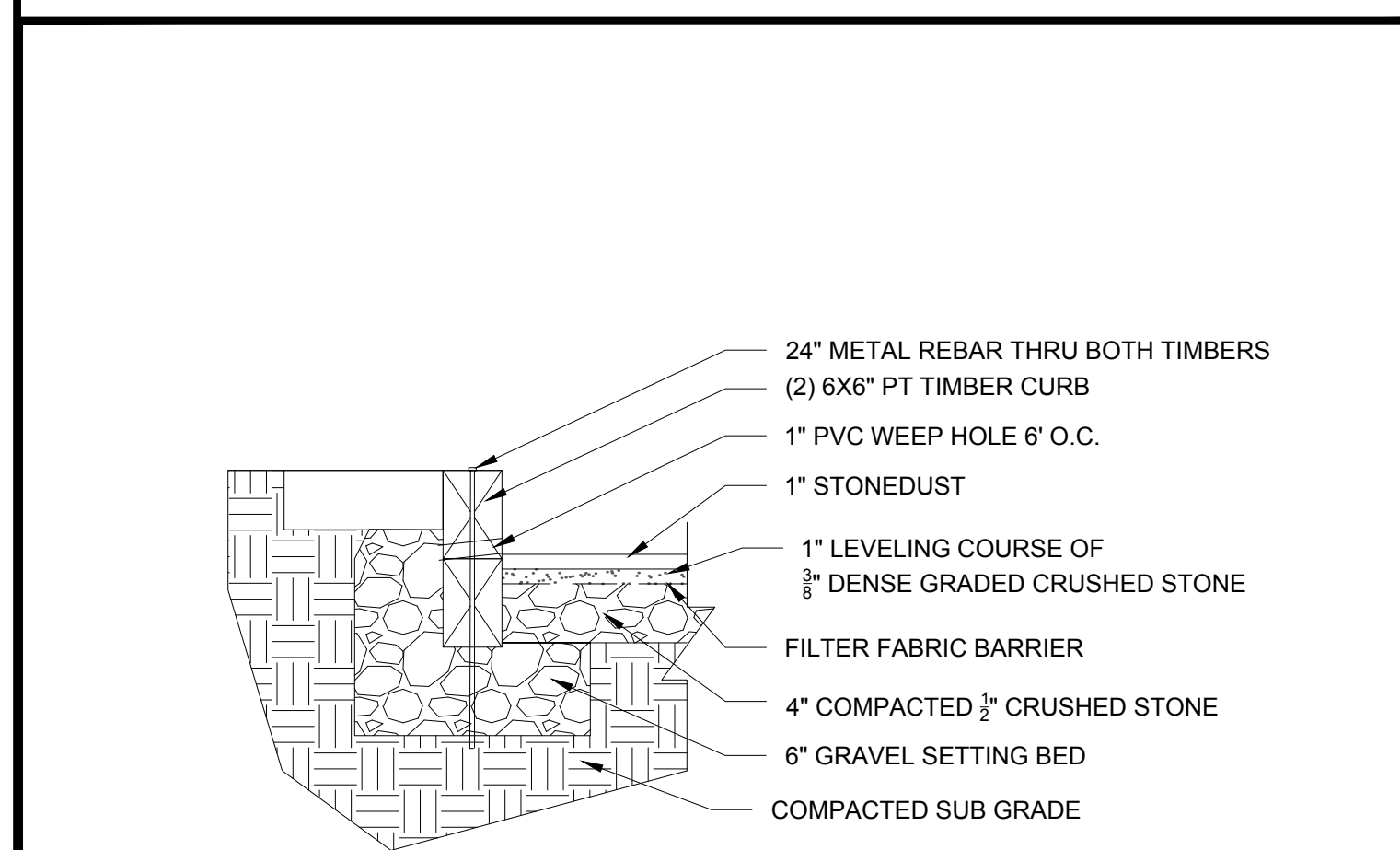
BOCCE COURT

N.T.S.



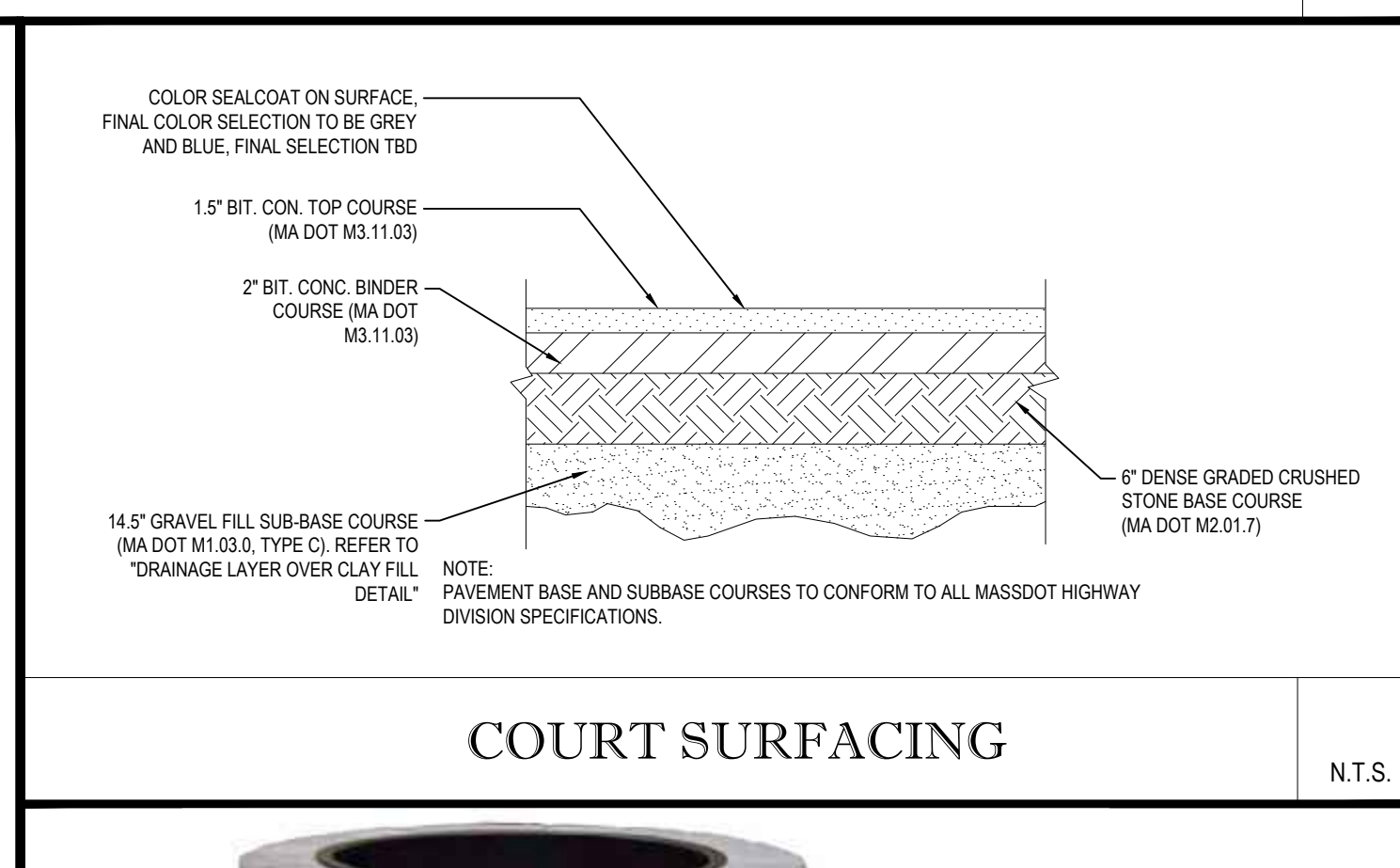
10' HIGH CHAIN LINK FENCE WITH GATES

N.T.S.



BOCCE COURT DRAINAGE

N.T.S.



COURT SURFACING

N.T.S.



FIRE PIT

N.T.S.

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DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 09/22/2020
CAD ID: UNSAVED DRAWING2

PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP PROPERTIES

SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

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SHEET TITLE:
LANDSCAPE NOTES & DETAILS

SHEET NUMBER:
C-707

REVISION 5 - 03/07/2024

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LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT CANDLES.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- LIGHTS SHALL BE 3,000K OR WARMER IN LIGHT TEMPERATURE.



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PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 02/22/2020
 CAD ID: W171219_S58

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR



SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
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LIGHTING PLAN

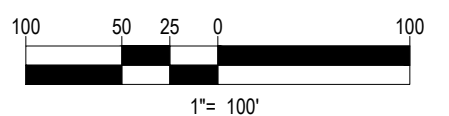
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C-710

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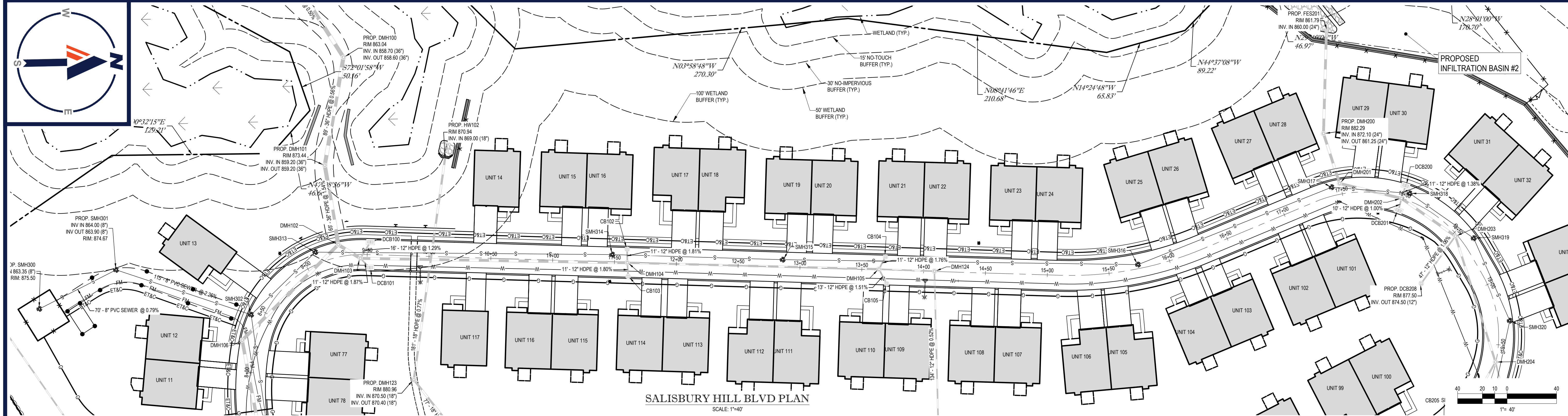


FINAL SPECIFICATIONS TO BE COORDINATED WITH DEVELOPER PRIOR TO CONSTRUCTION

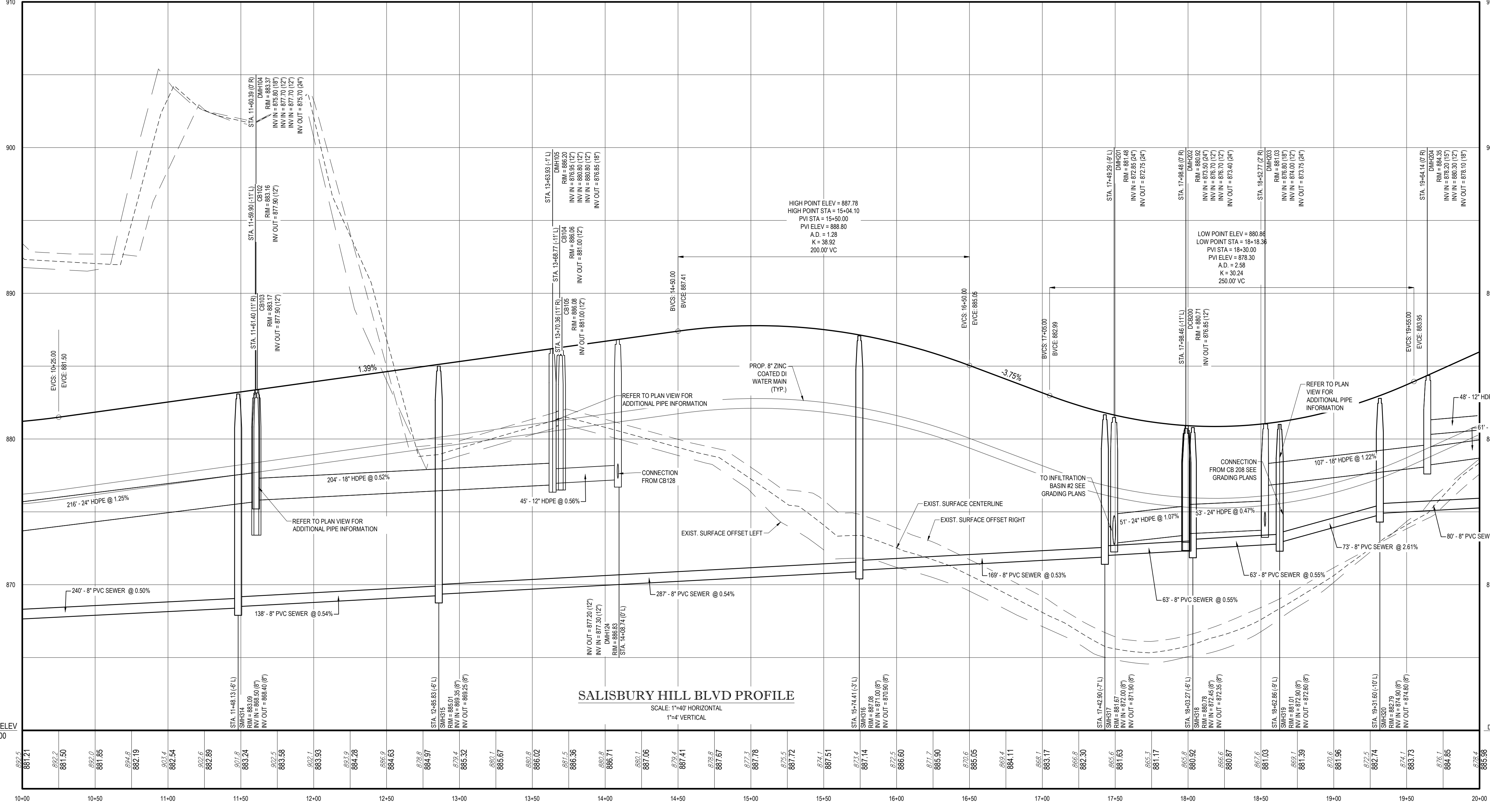
THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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SALISBURY HILL BLVD PLAN
SCALE: 1"=40'



SALISBURY HILL BLVD PROFILE
SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

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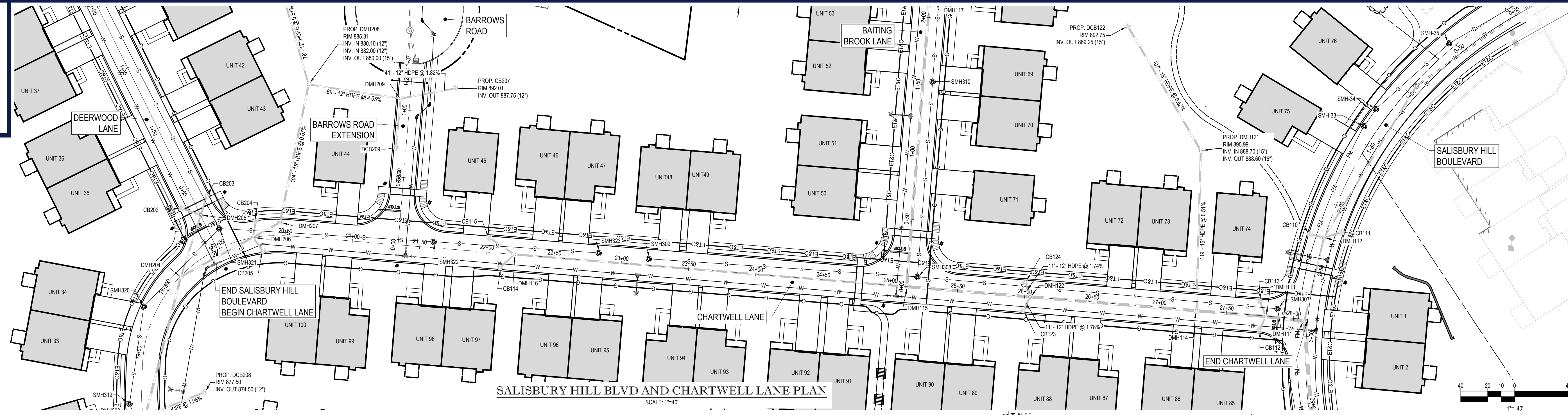


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SALISBURY HILL BLVD PLAN AND PROFILE B

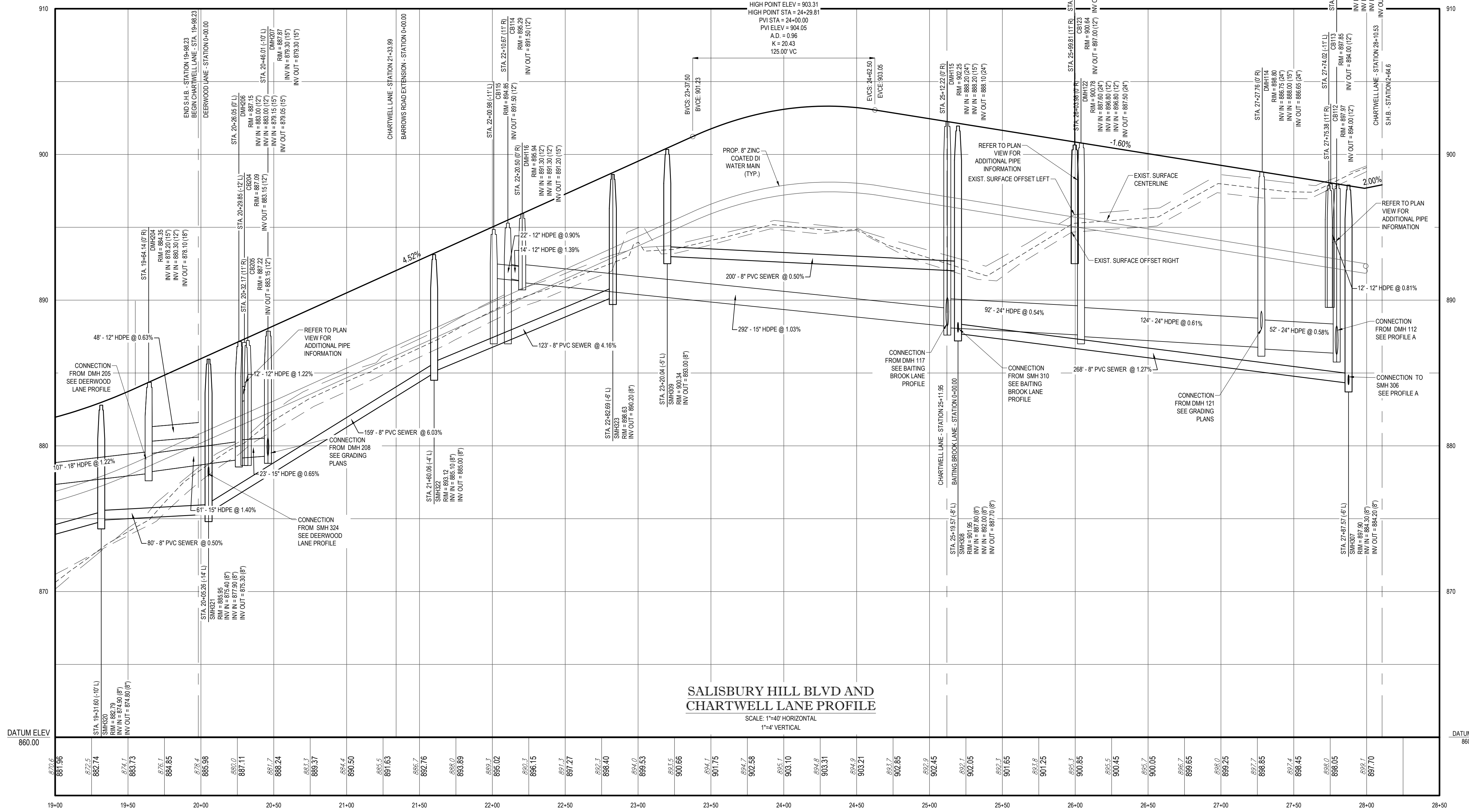
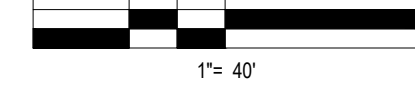
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SALISBURY HILL BLVD AND CHARTWELL LANE PLAN
SCALE: 1"=40'



SALISBURY HILL BLVD AND CHARTWELL LANE PROFILE
SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

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CAD ID: W171219_SSS_PROF

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WORCESTER COUNTY
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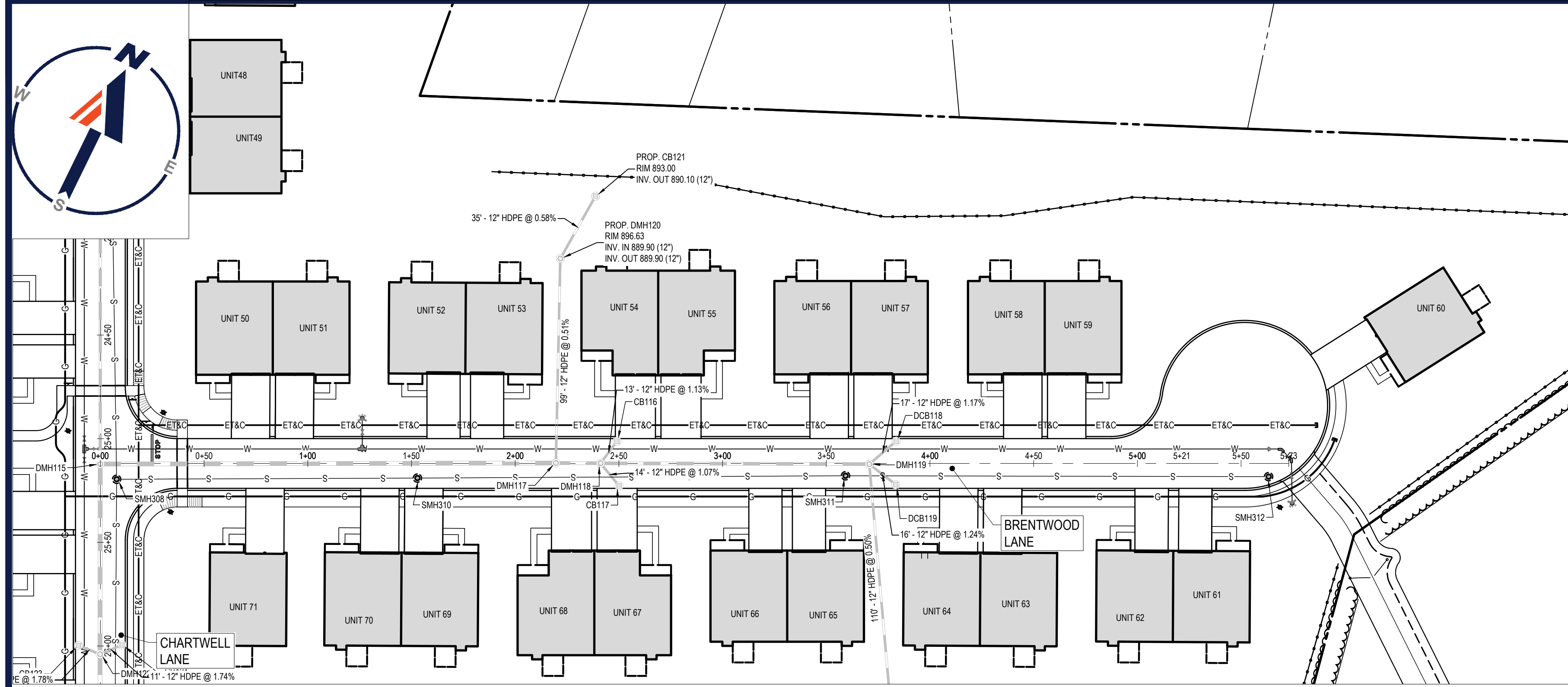


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SALISBURY HILL BLVD AND CHARTWELL LANE PLAN AND PROFILE C

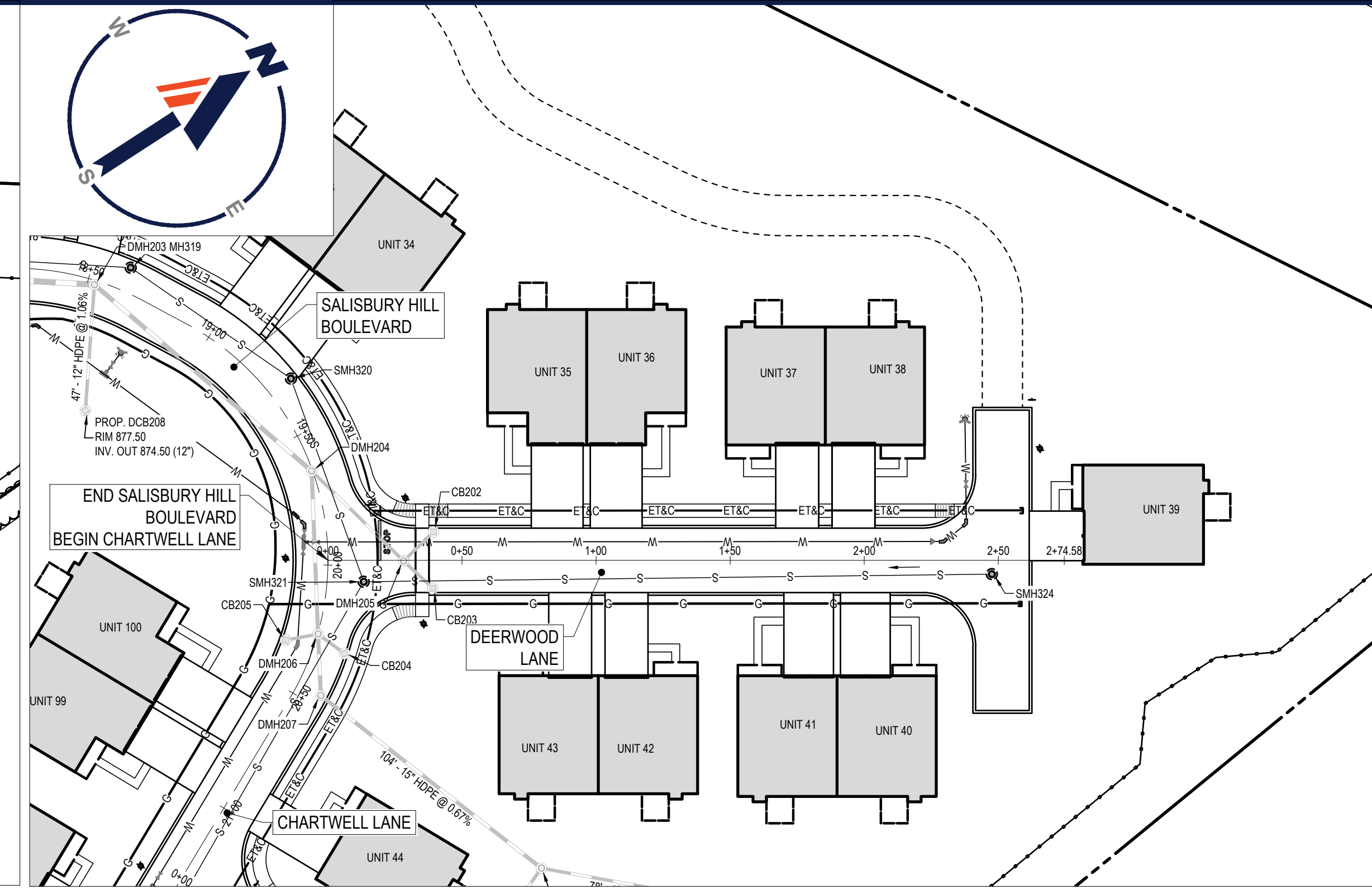
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REVISION 5 - 03/07/2024

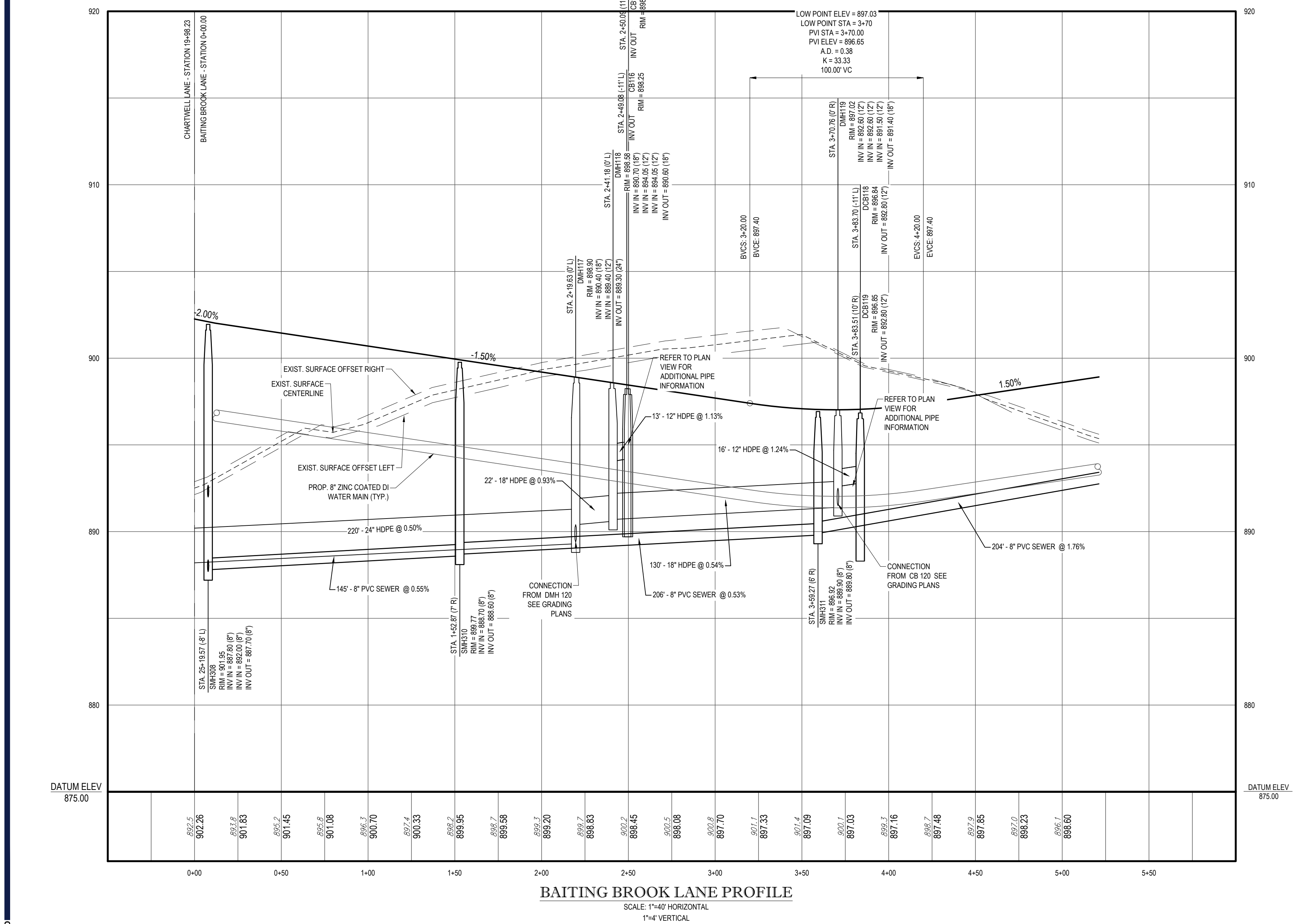
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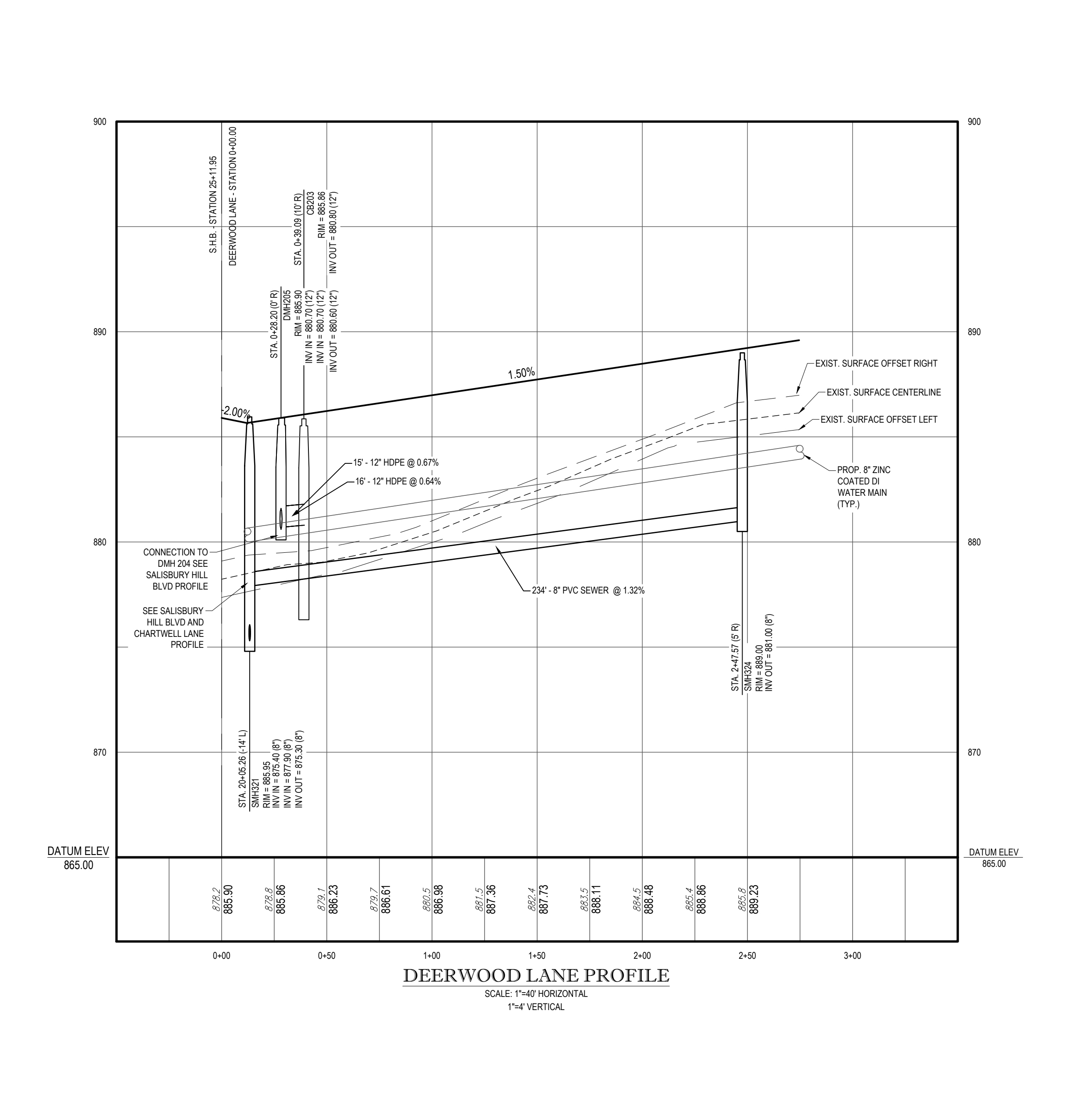
BAITING BROOK LANE PLAN
SCALE: 1"=40' HORIZONTAL



DEERWOOD LANE PLAN
SCALE: 1"=40' HORIZONTAL



BAITING BROOK LANE PROFILE
SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL



DEERWOOD LANE PROFILE
SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

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CAD LD.: W171219_SSS_PROF

PROPOSED SITE PLAN DOCUMENTS



SALISBURY HILL
MAP #50, LOT #023
BLOCK CONDO (A.K.A. ACCT. 43389)
CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com

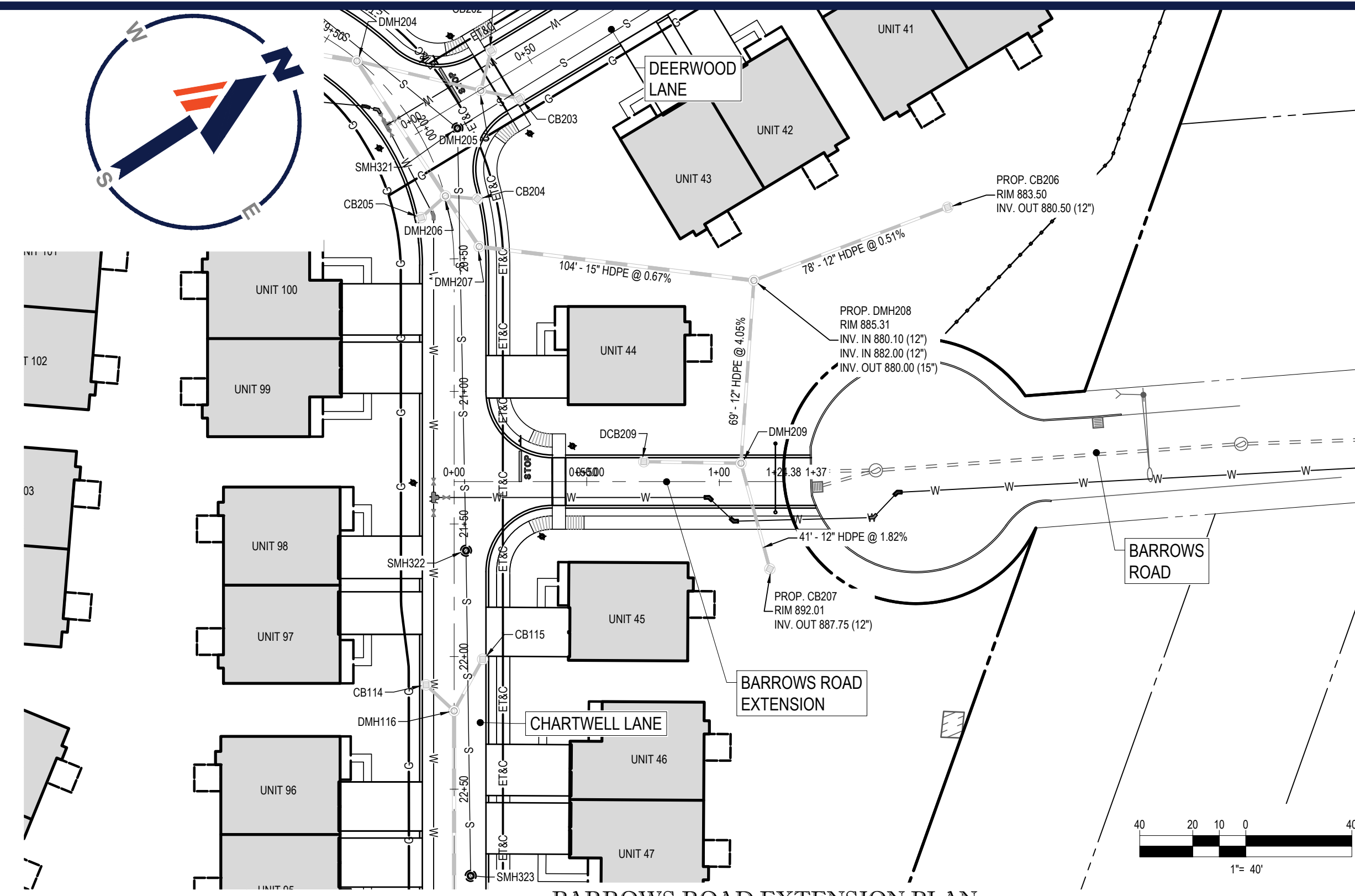


SHEET TITLE:
BRENTWOOD LANE AND DEERWOOD LANE PLAN AND PROFILE

SHEET NUMBER:
C-804

REVISION 5 - 03/07/2024

C:\PROGRAMDATA\BOHLER\32022\NETEMP\AC\PA\BUILSH_3078\W171219_SSS_PROF.dwg -> LAYOUT: C-804-PROF



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	CFD/IAS
2	09/09/20	PER CITY STAFF COMMENTS	NEM
3	11/12/2020	PER CITY STAFF COMMENTS	AJS
4	04/09/2021	PER CITY STAFF COMMENTS	NEM
5	03/07/2024	PB AMENDMENT	CFD

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 09/22/2020
CAD ID.: W171219_SSS_PROF

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP
PROPERTIES

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MASSACHUSETTS

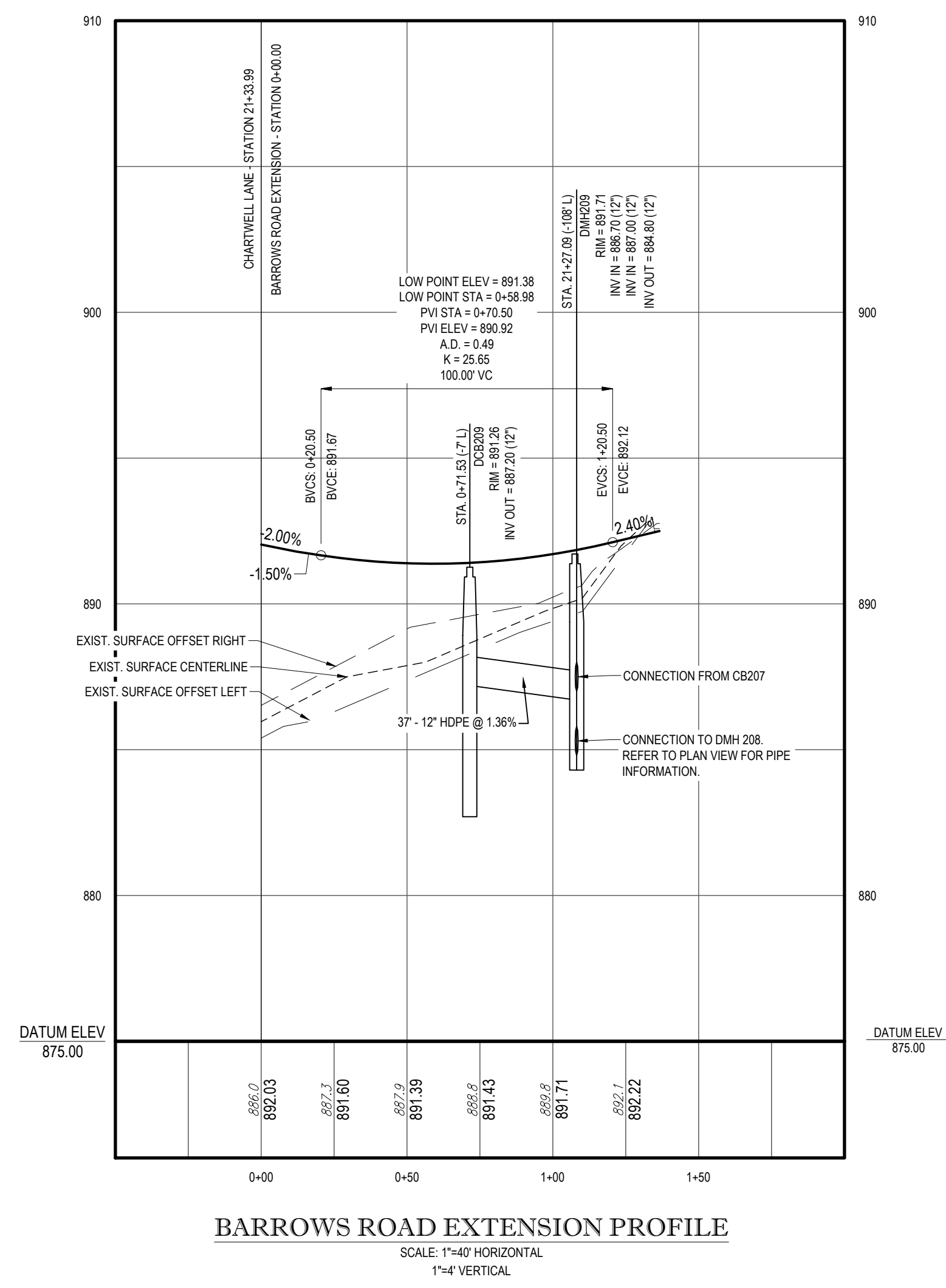
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352 TURNPIKE ROAD
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www.BohlerEngineering.com

J. KUCIACH
JOHN KUCIACH
REGISTERED PROFESSIONAL ENGINEER
NEW HAMPSHIRE LICENSE NO. 15474
COMMONWEALTH OF MASSACHUSETTS LICENSE NO. 20177
PHONE: (508) 480-9900
MOBILE LICENSE NO. 22553

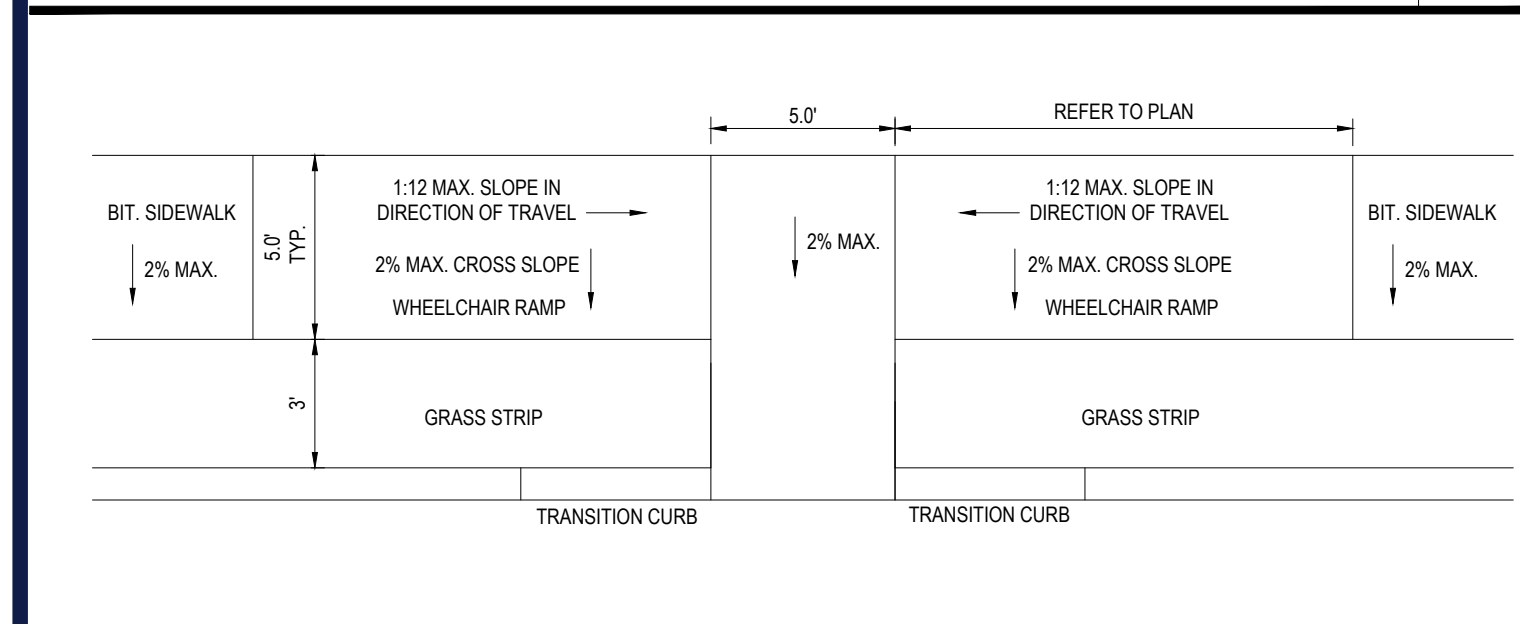
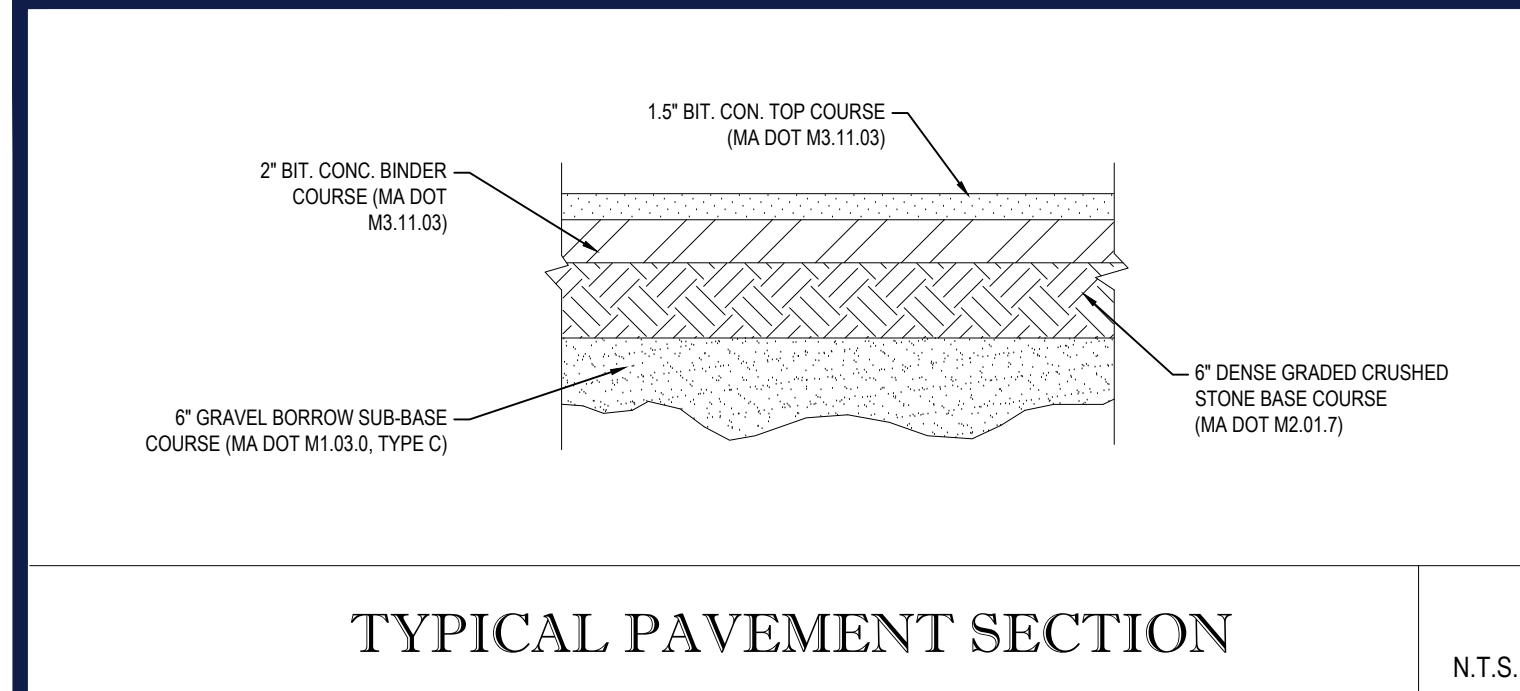
SHEET TITLE:
BARROWS ROAD EXTENSION PLAN AND PROFILE

SHEET NUMBER:
C-805

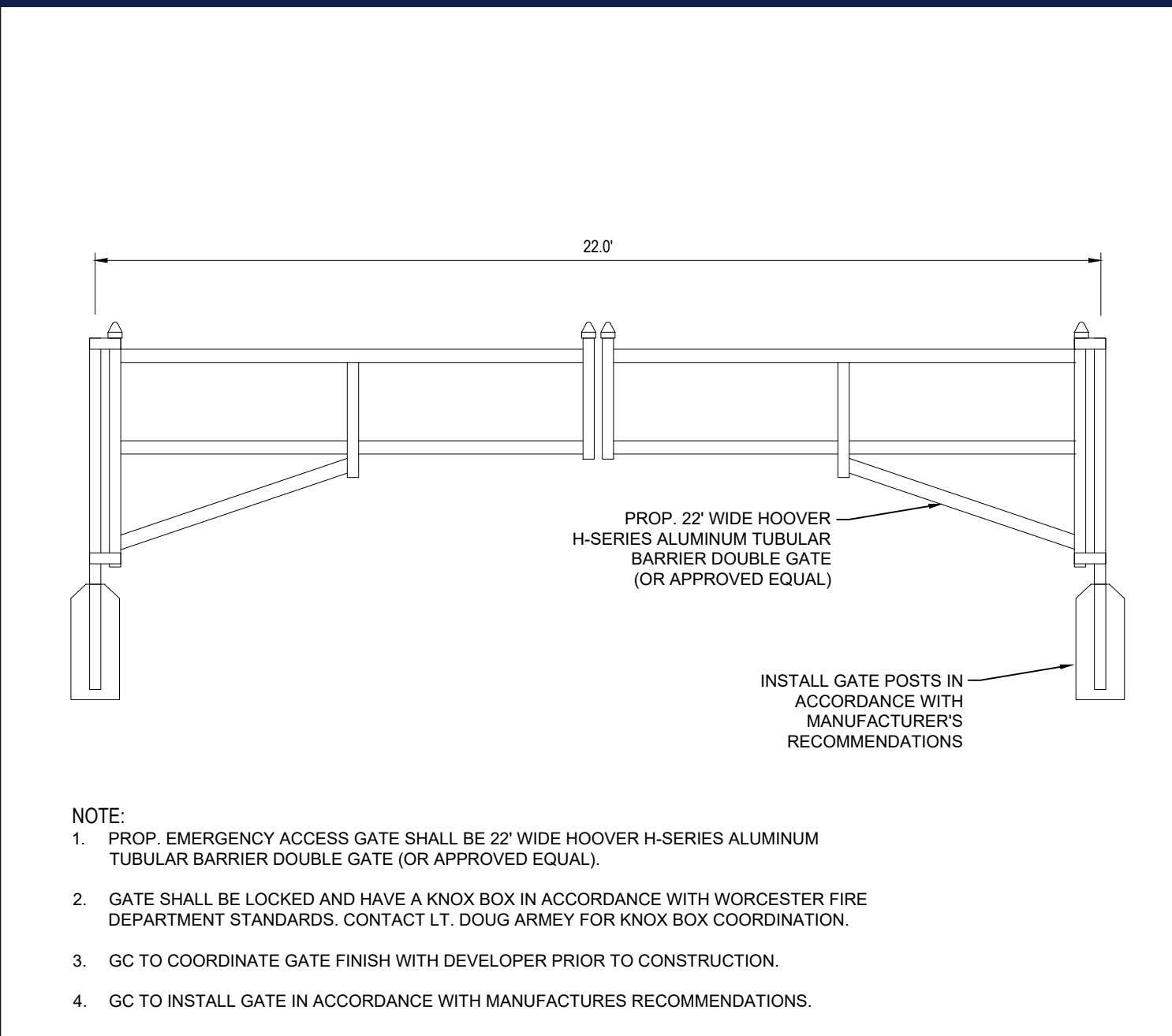
REVISION 5 - 03/07/2024



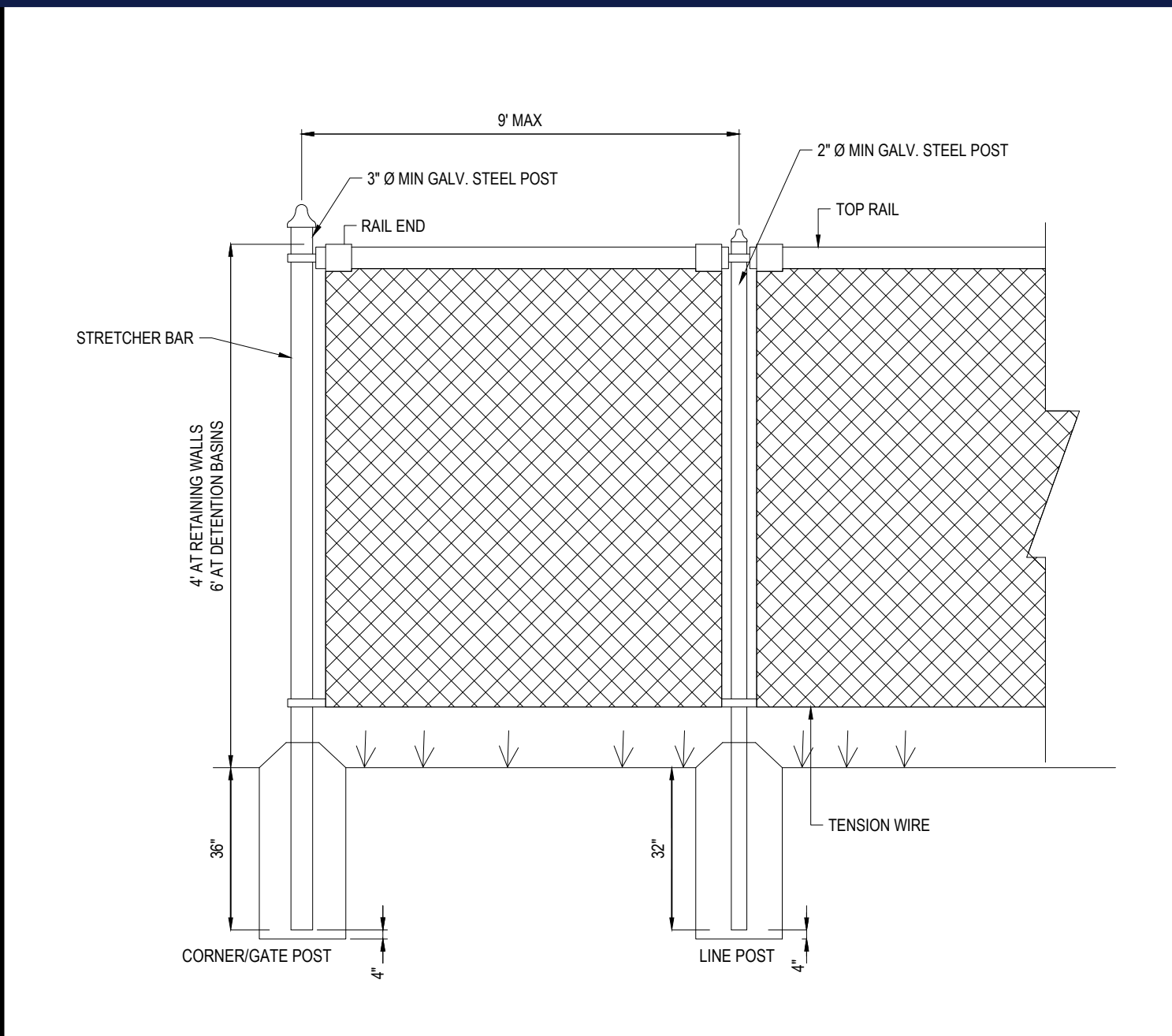
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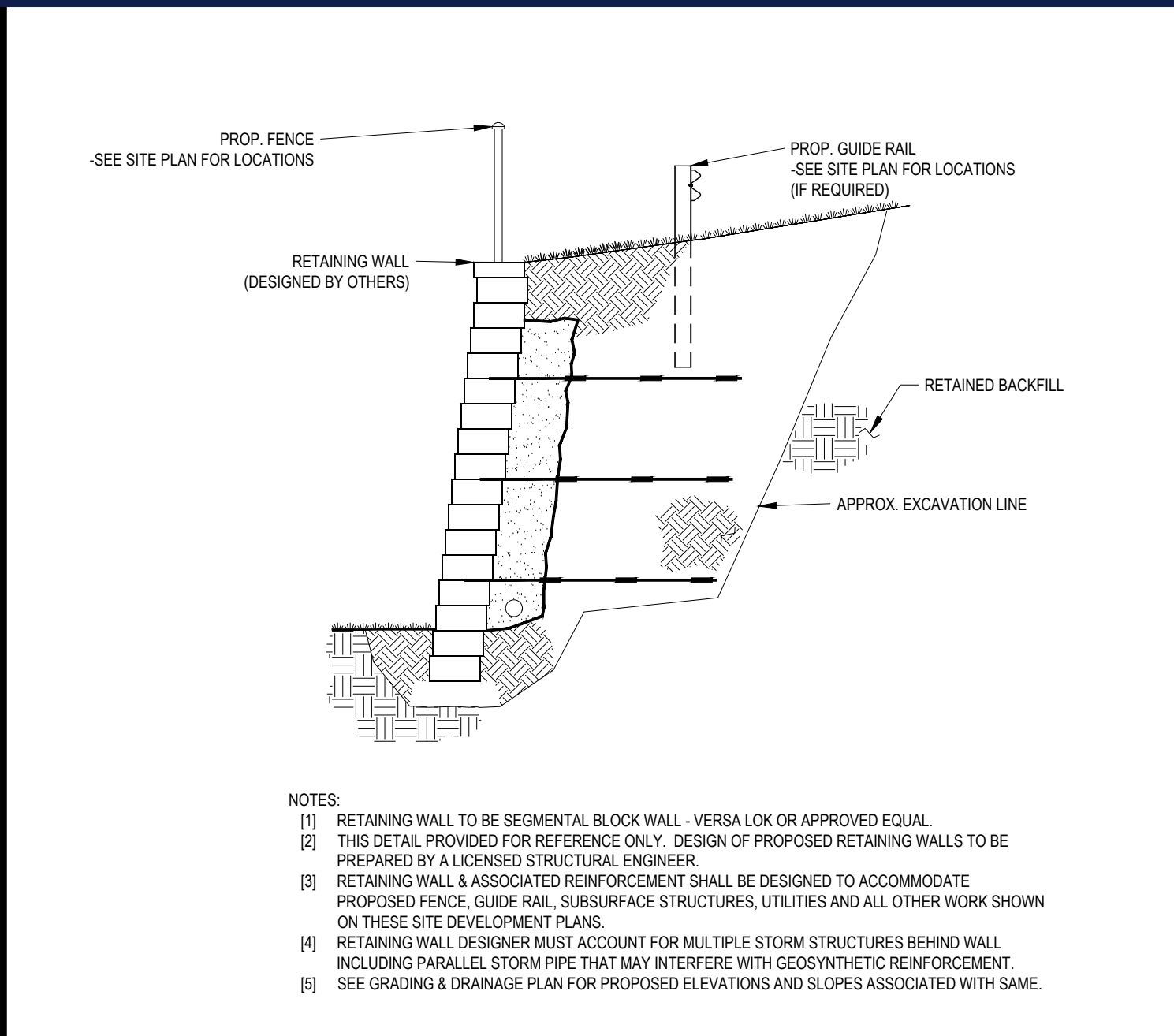
TYPICAL PAVEMENT SECTION N.T.S.
TYPICAL WHEELCHAIR RAMP N.T.S.



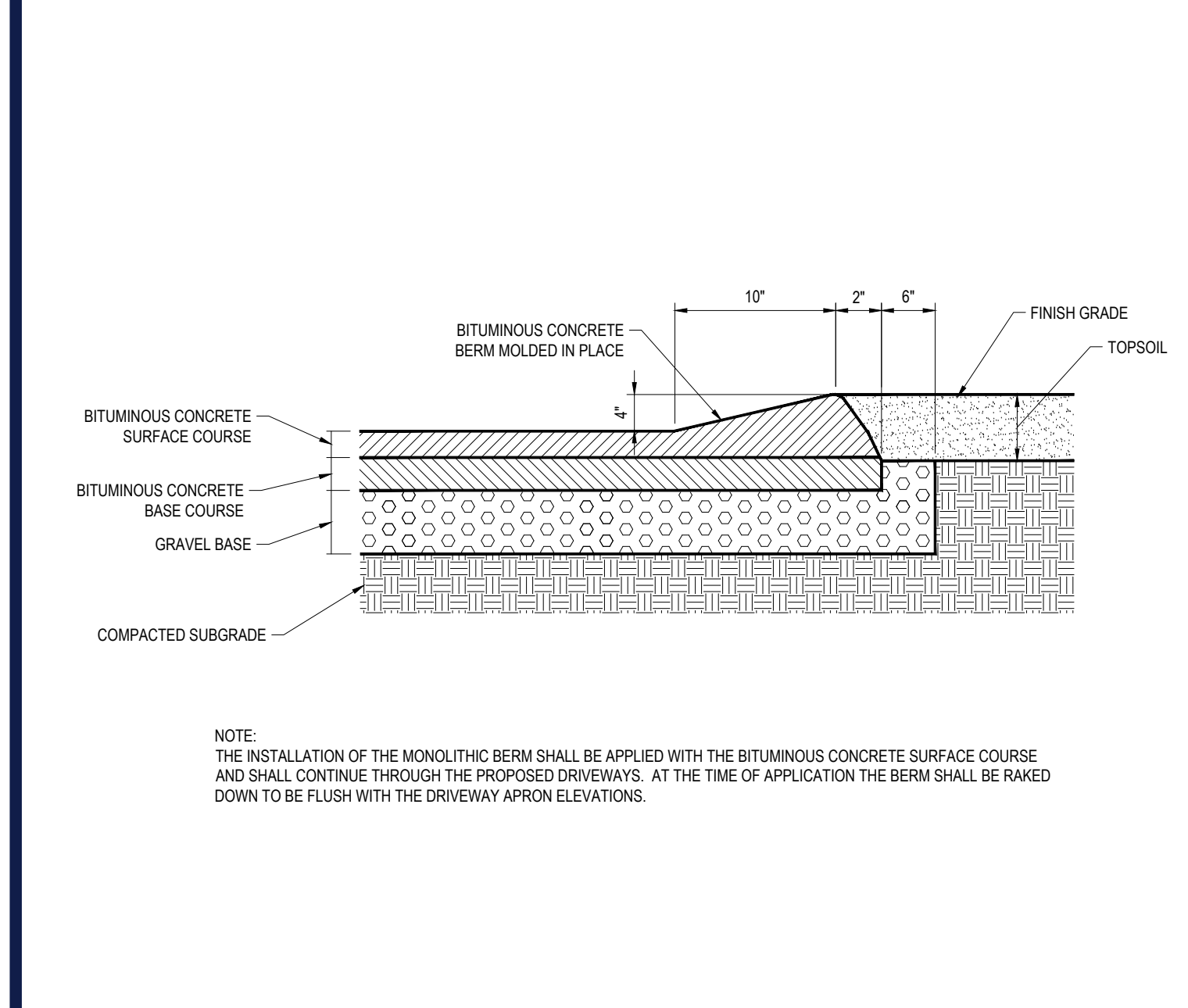
EMERGENCY ACCESS GATE DETAIL N.T.S.



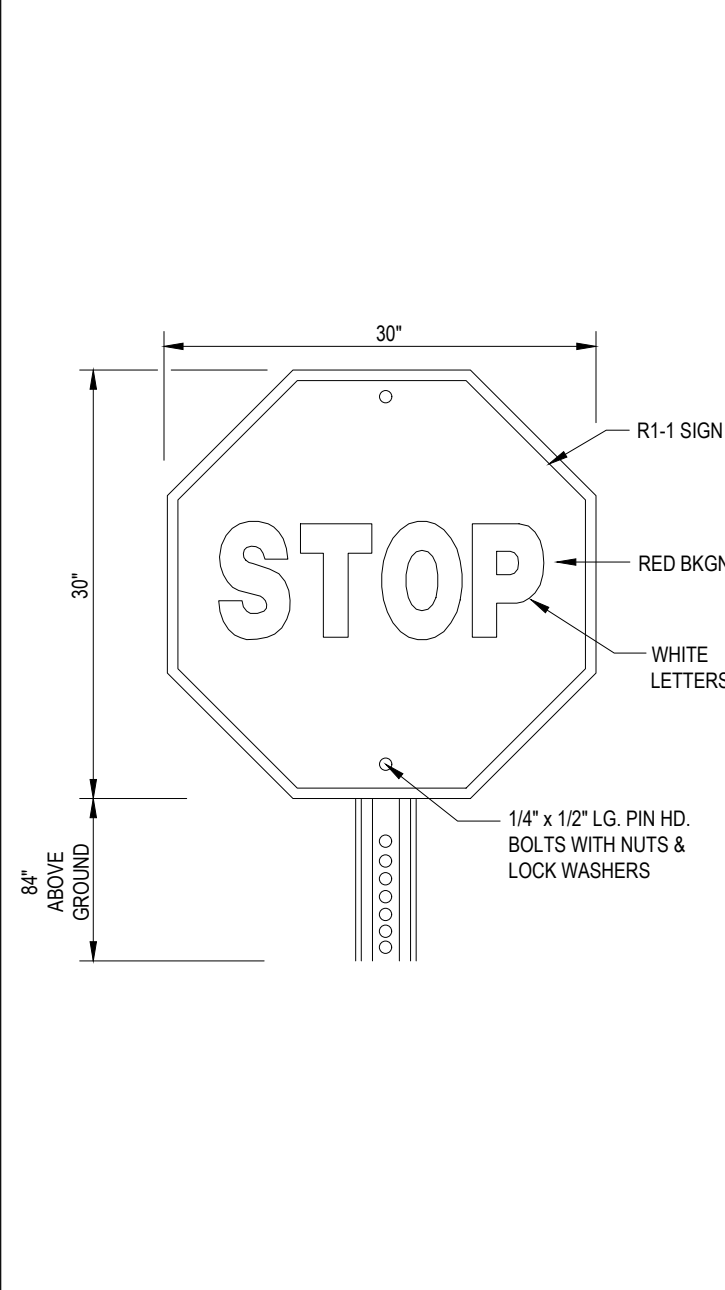
BLACK VINYL COATED CHAIN LINK FENCE N.T.S.



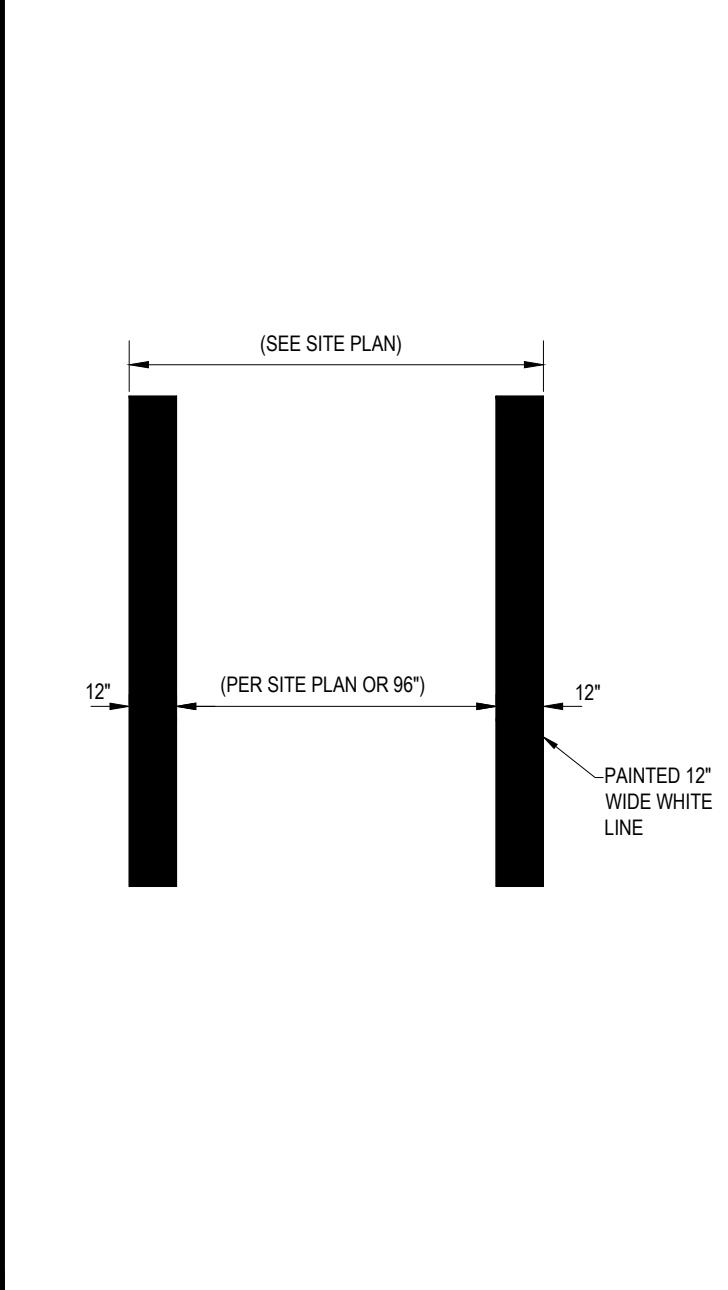
TYPICAL RETAINING WALL DETAIL N.T.S.



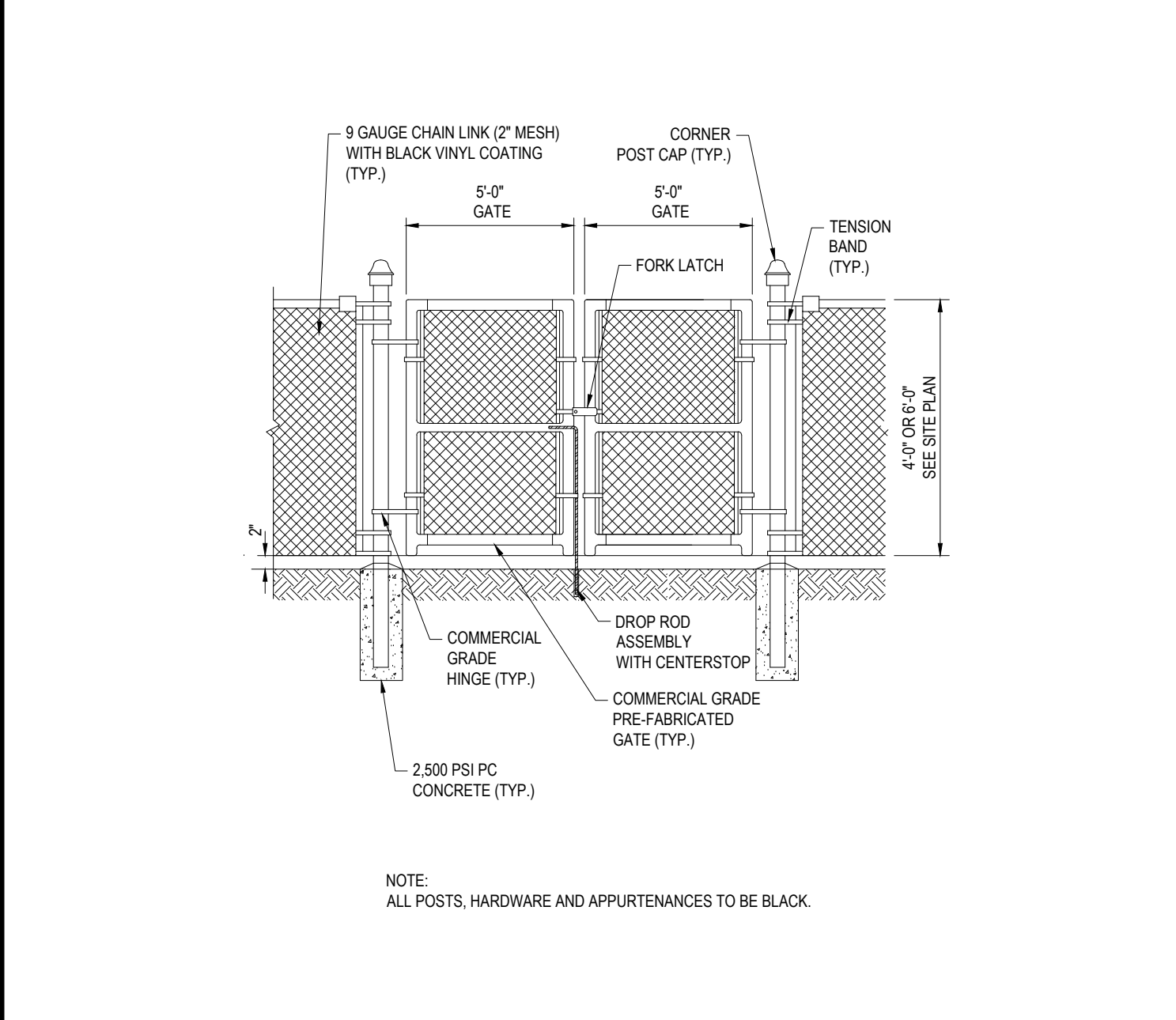
MONOLITHIC CAPE COD BERM N.T.S.



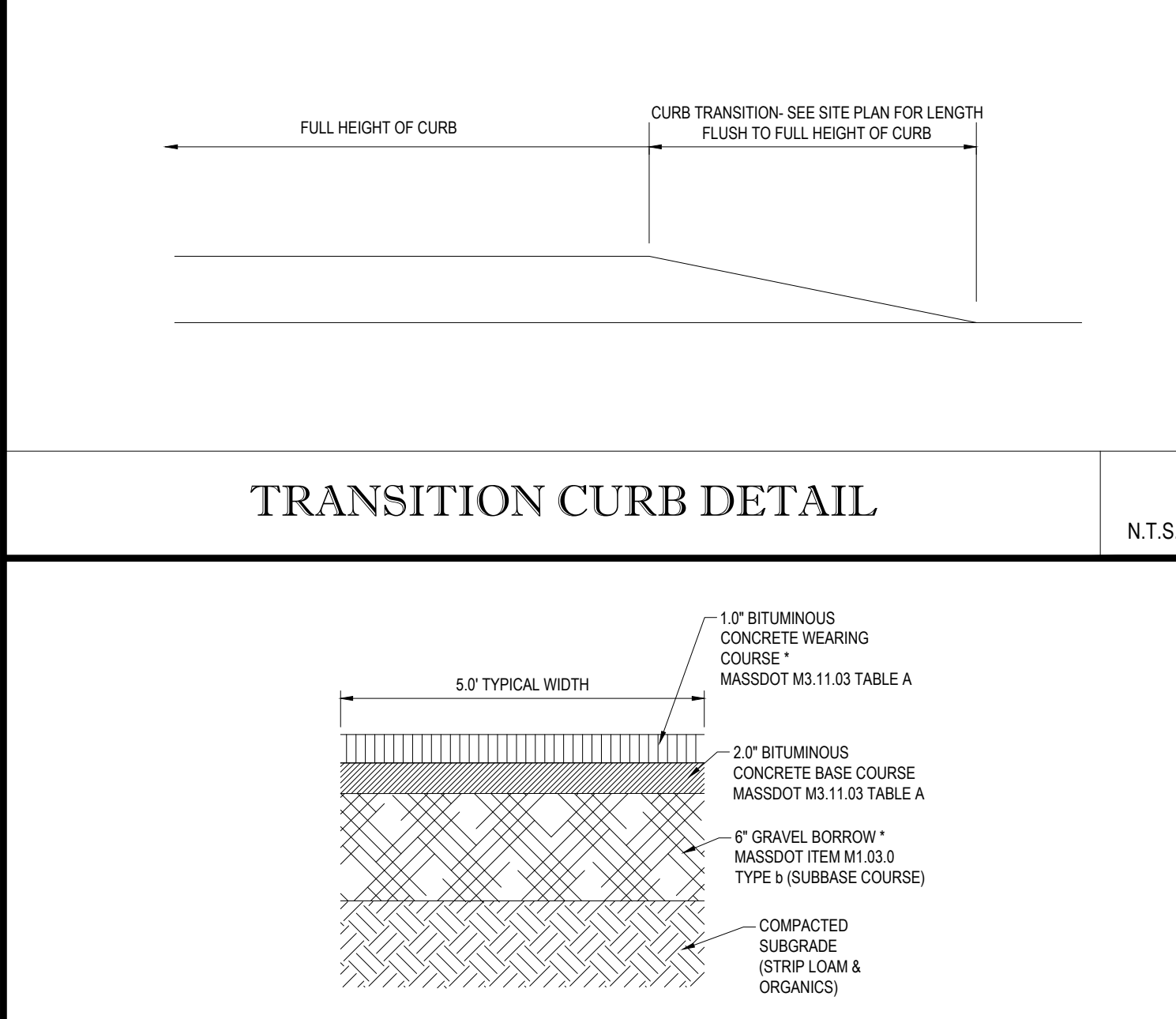
'STOP' SIGN N.T.S.



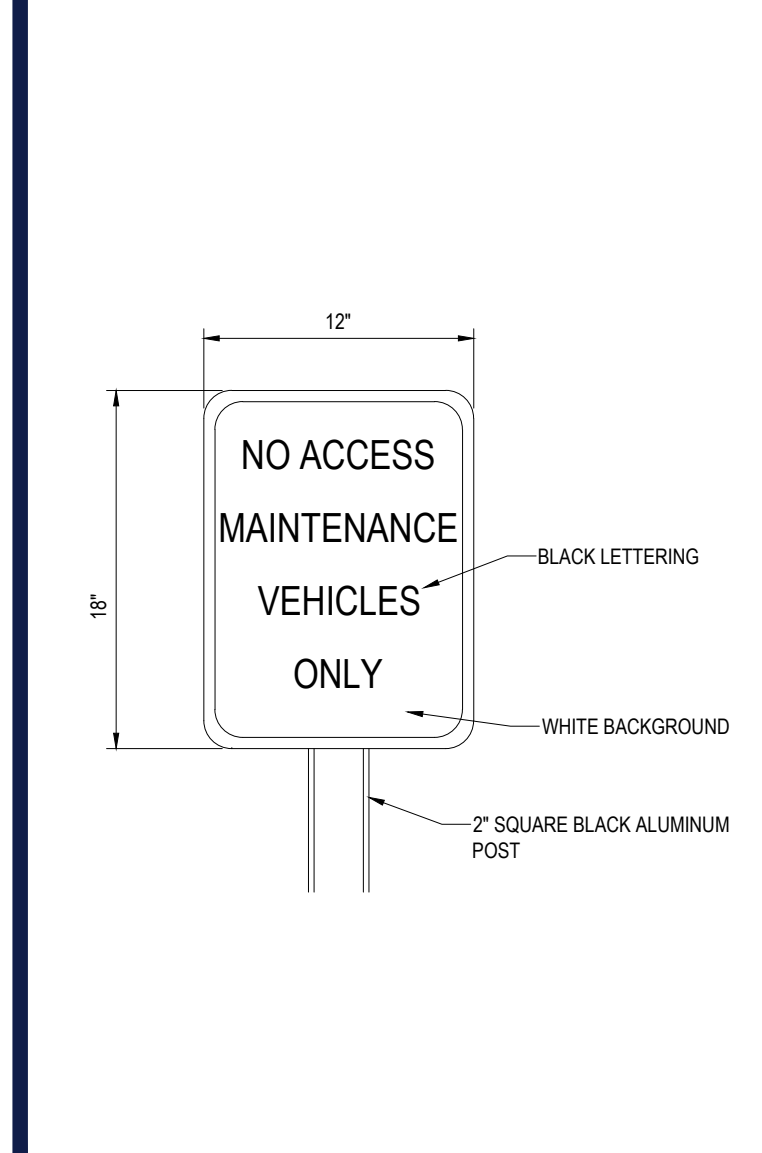
CROSSWALK DETAIL N.T.S.



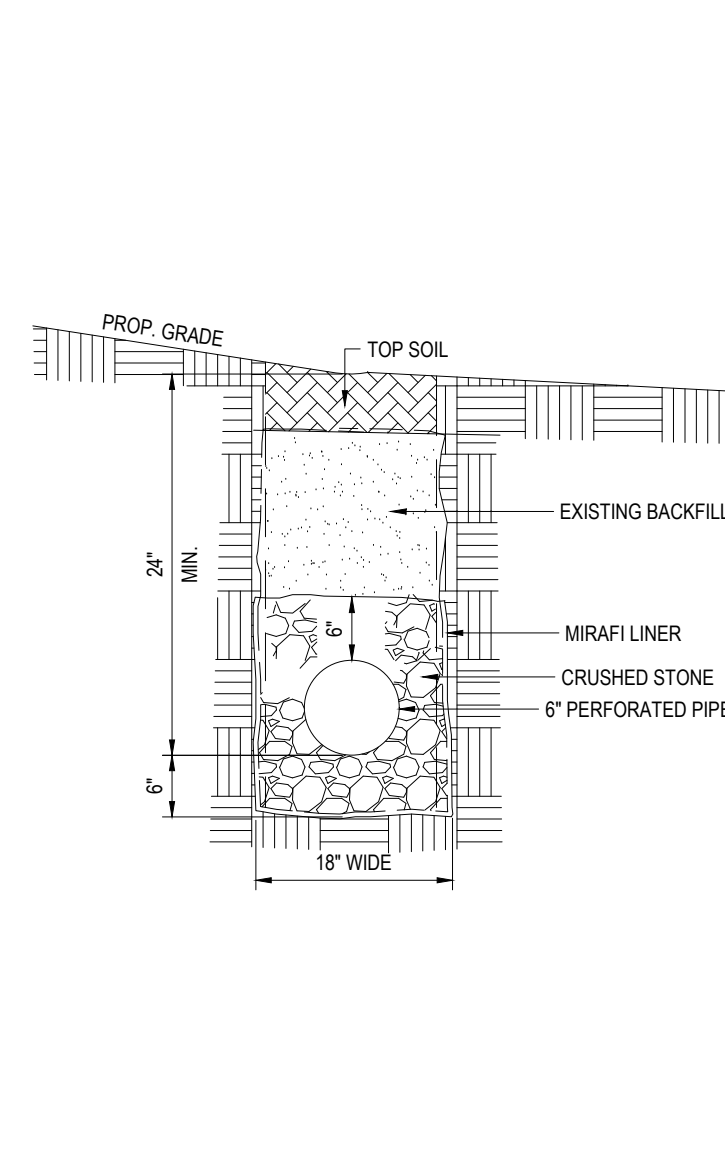
BLACK VINYL CHAIN LINK FENCE WITH DOUBLE GATE N.T.S.



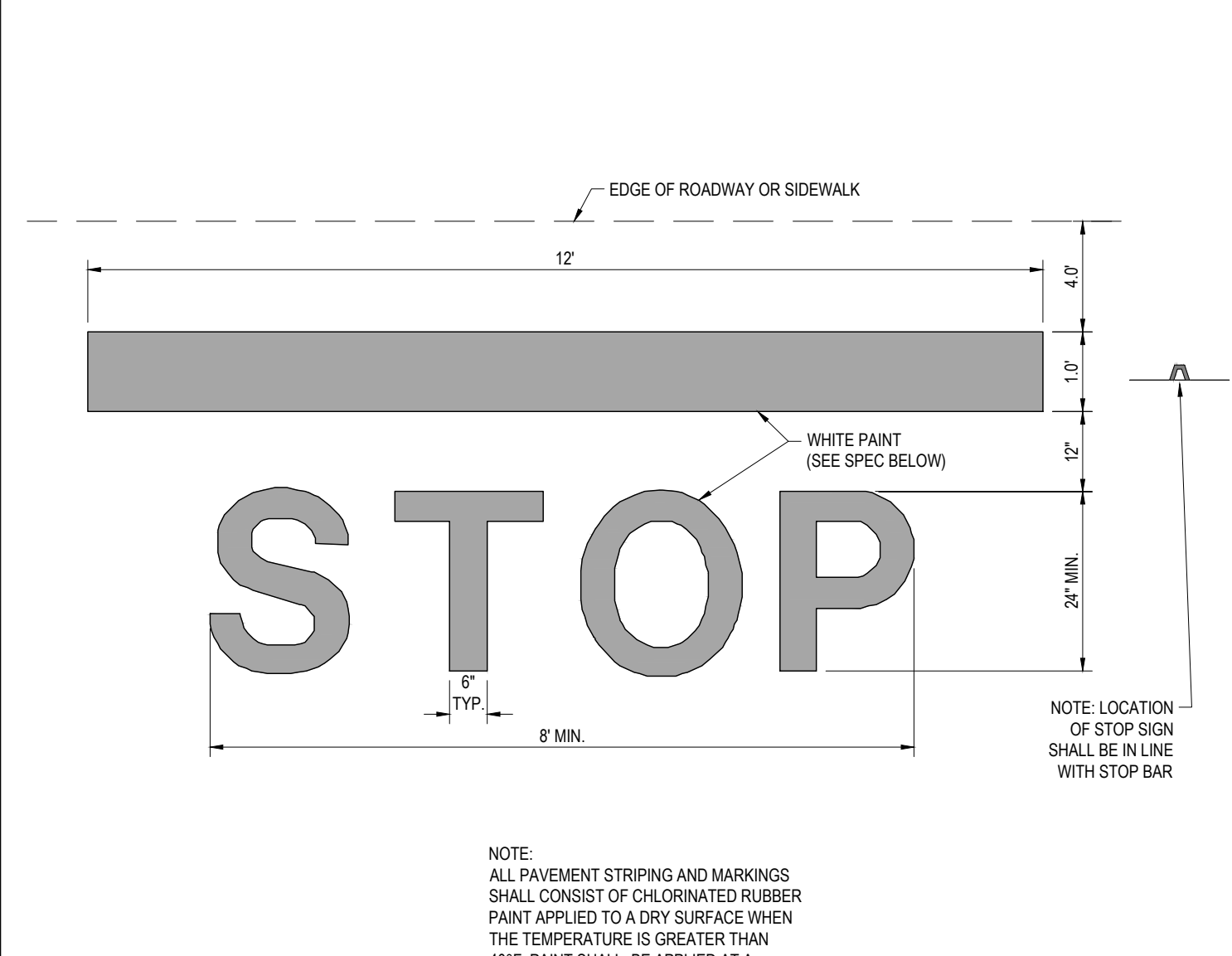
BITUMINOUS CONCRETE SIDEWALK PAVEMENT SECTION N.T.S.



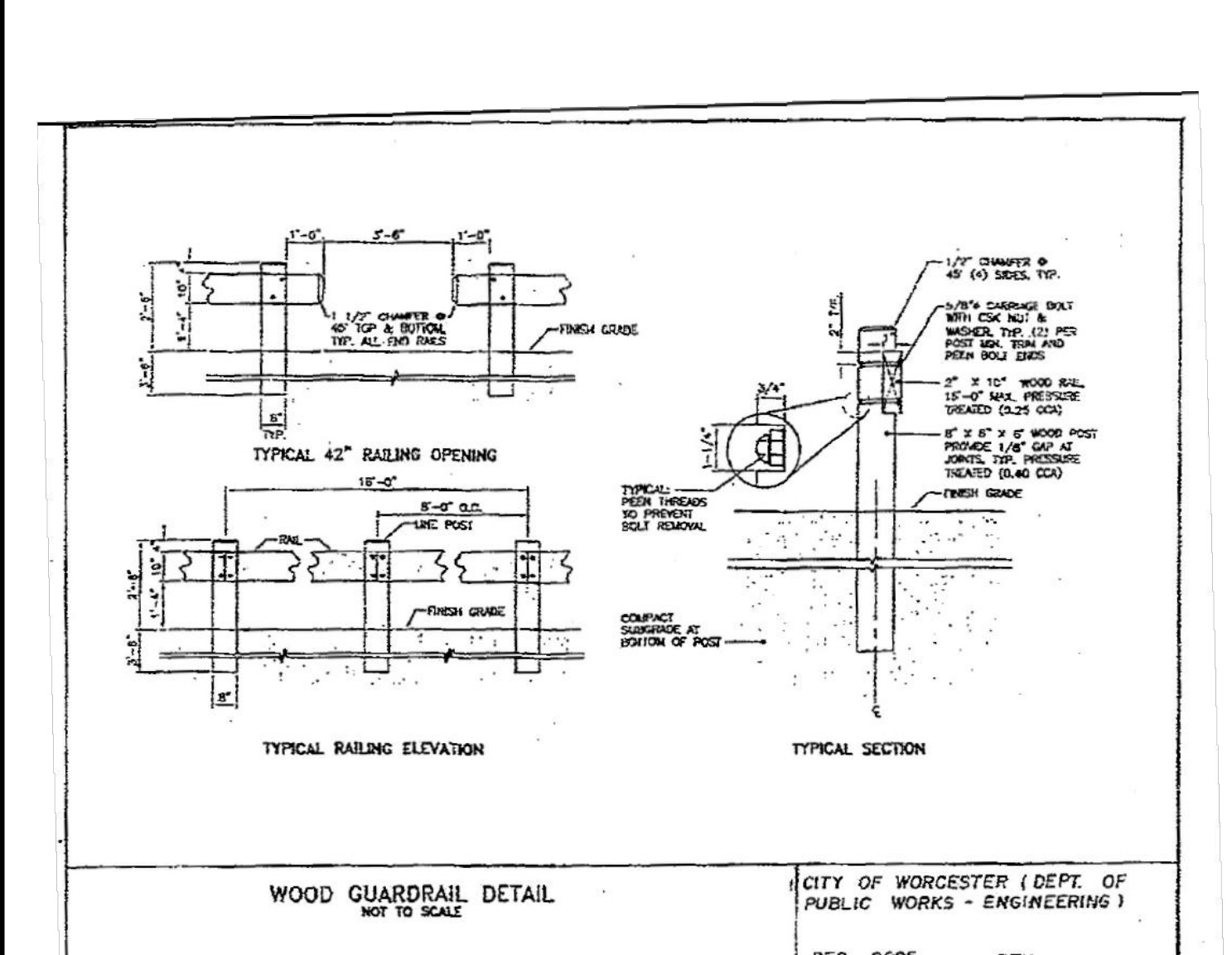
NO ACCESS MAINTENANCE VEHICLES ONLY SIGN DETAIL N.T.S.



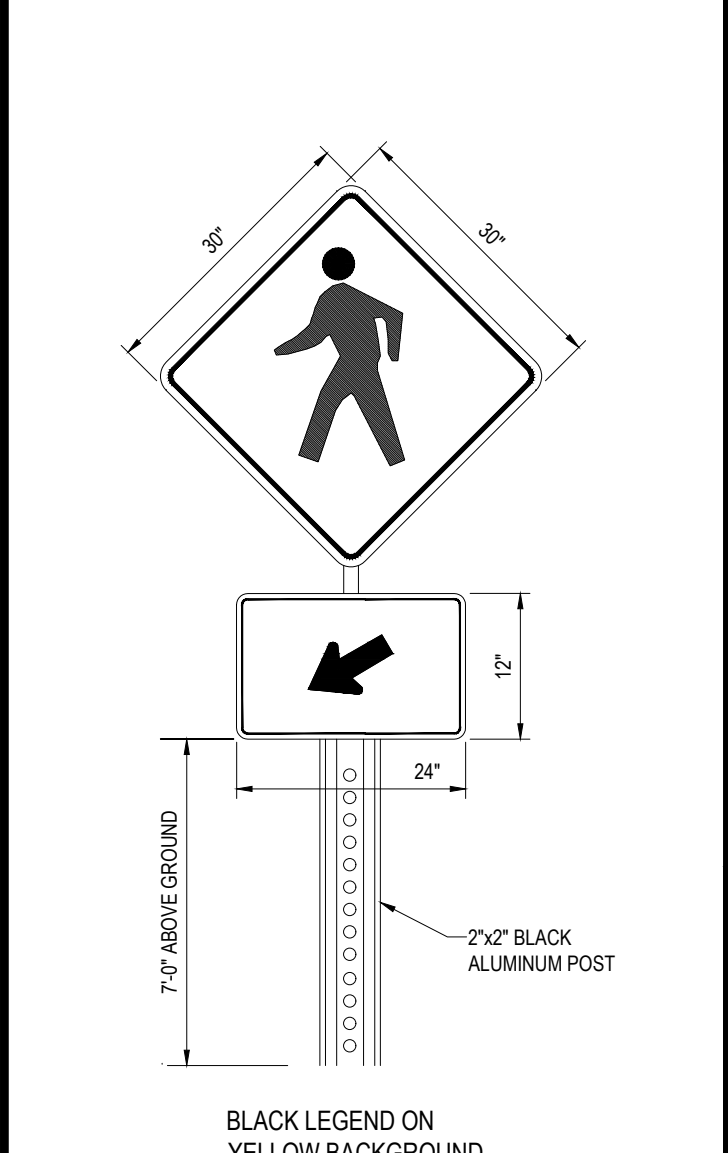
INTERCEPTOR DRAIN N.T.S.



'STOP' BAR DETAIL N.T.S.



CITY OF WORCESTER TYPICAL WOOD GUIDERAIL DETAIL N.T.S.



PEDESTRIAN CROSSING SIGN N.T.S.

CONDITIONALLY APPROVED
WORCESTER PLANNING BOARD

SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C-901

DATE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
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LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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PROJECT No.: W171219
DRAWN BY: AJS/CMC
CHECKED BY: NEM/JAK
DATE: 06/22/2020
CAD ID: W171219_SSS_DETAILS

PROPOSED SITE PLAN DOCUMENTS

FOR

CAPITAL GROUP
PROPERTIES

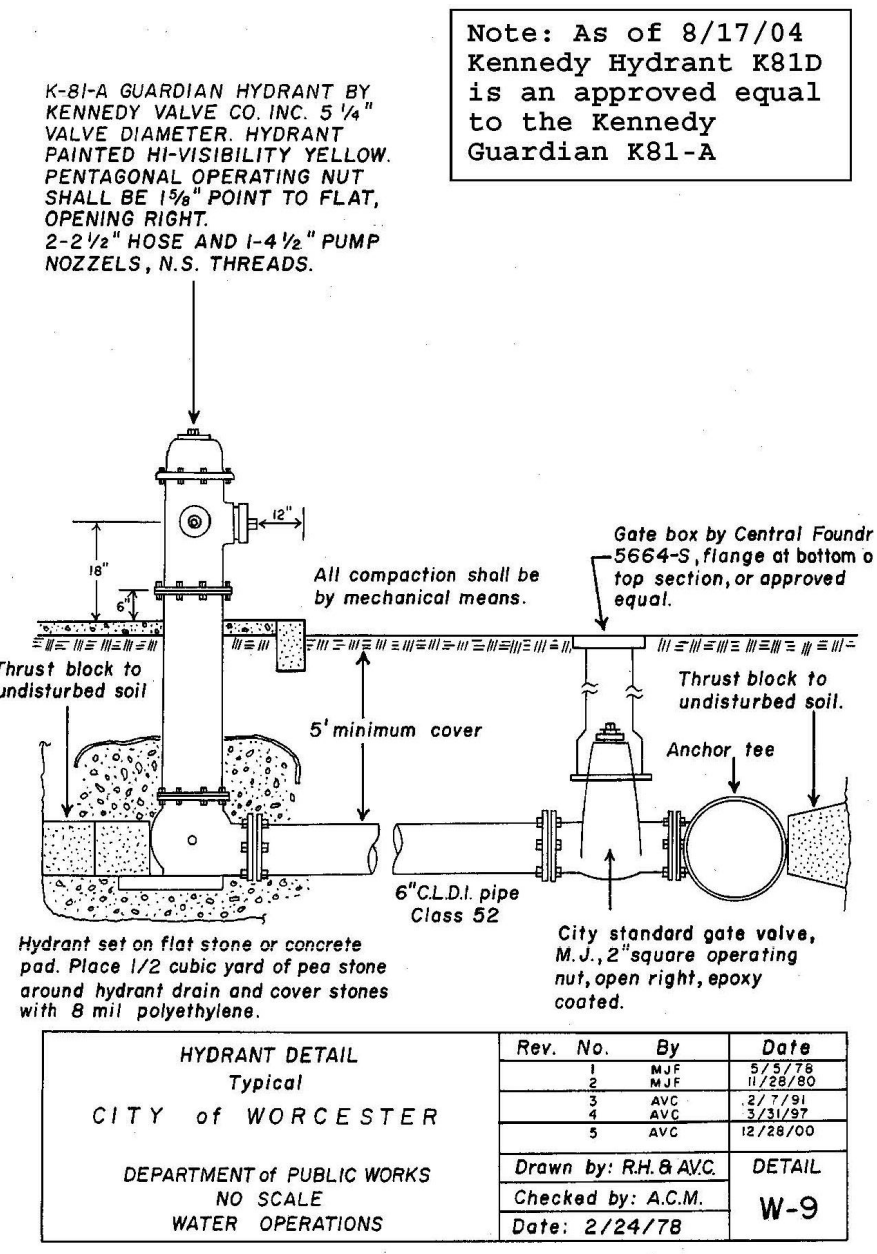
SALISBURY HILL
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CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

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Phone: (508) 480-9900
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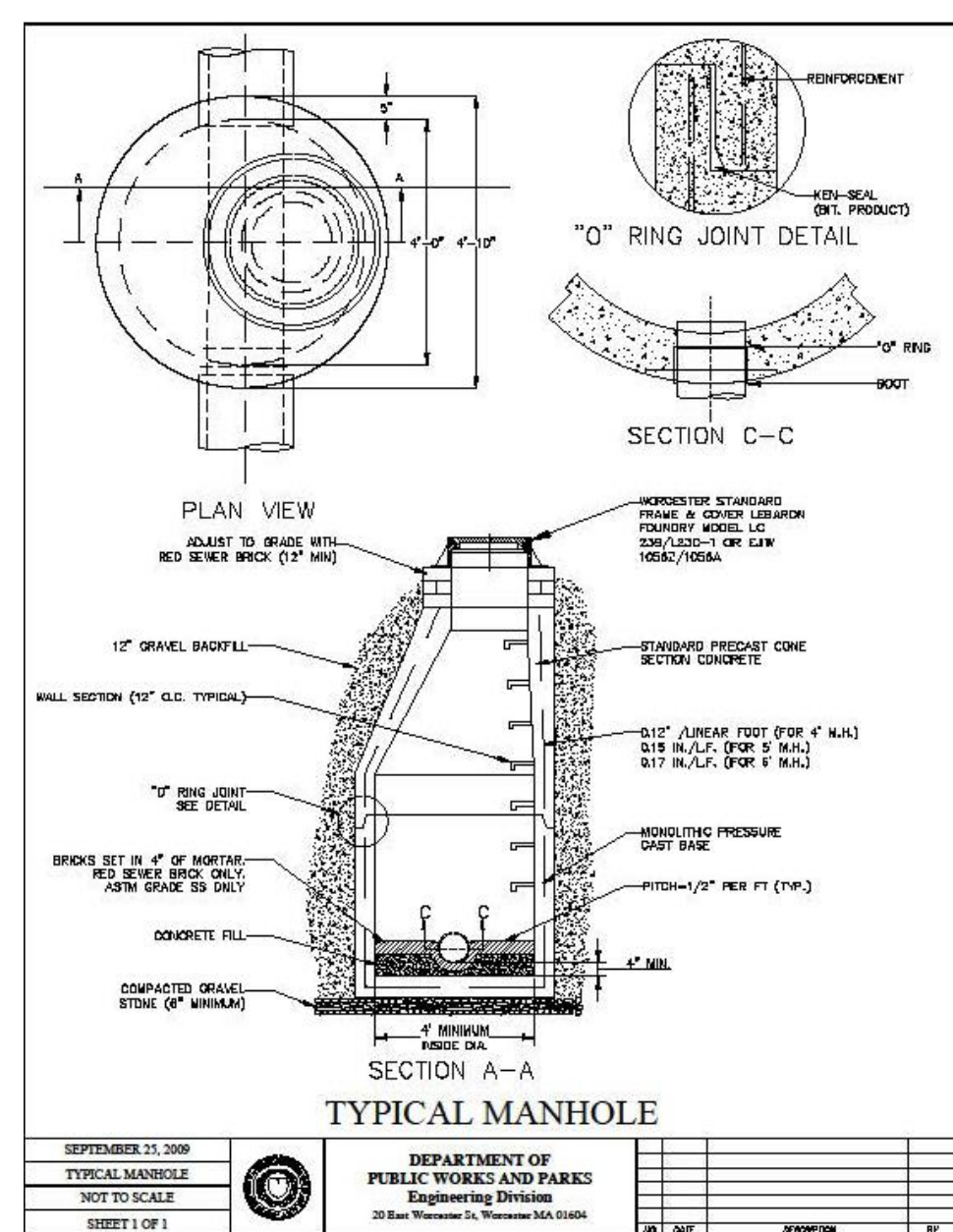
J. KUGICH
Professional Engineer
Professional Seal
NEW HAMPSHIRE LICENSE NO. 20177
ISSUED 08/18/2016
RENEWED 08/18/2021
MASSACHUSETTS LICENSE NO. 22553
ISSUED 08/18/2016
RENEWED 08/18/2021

REVISION 5 - 03/07/2024

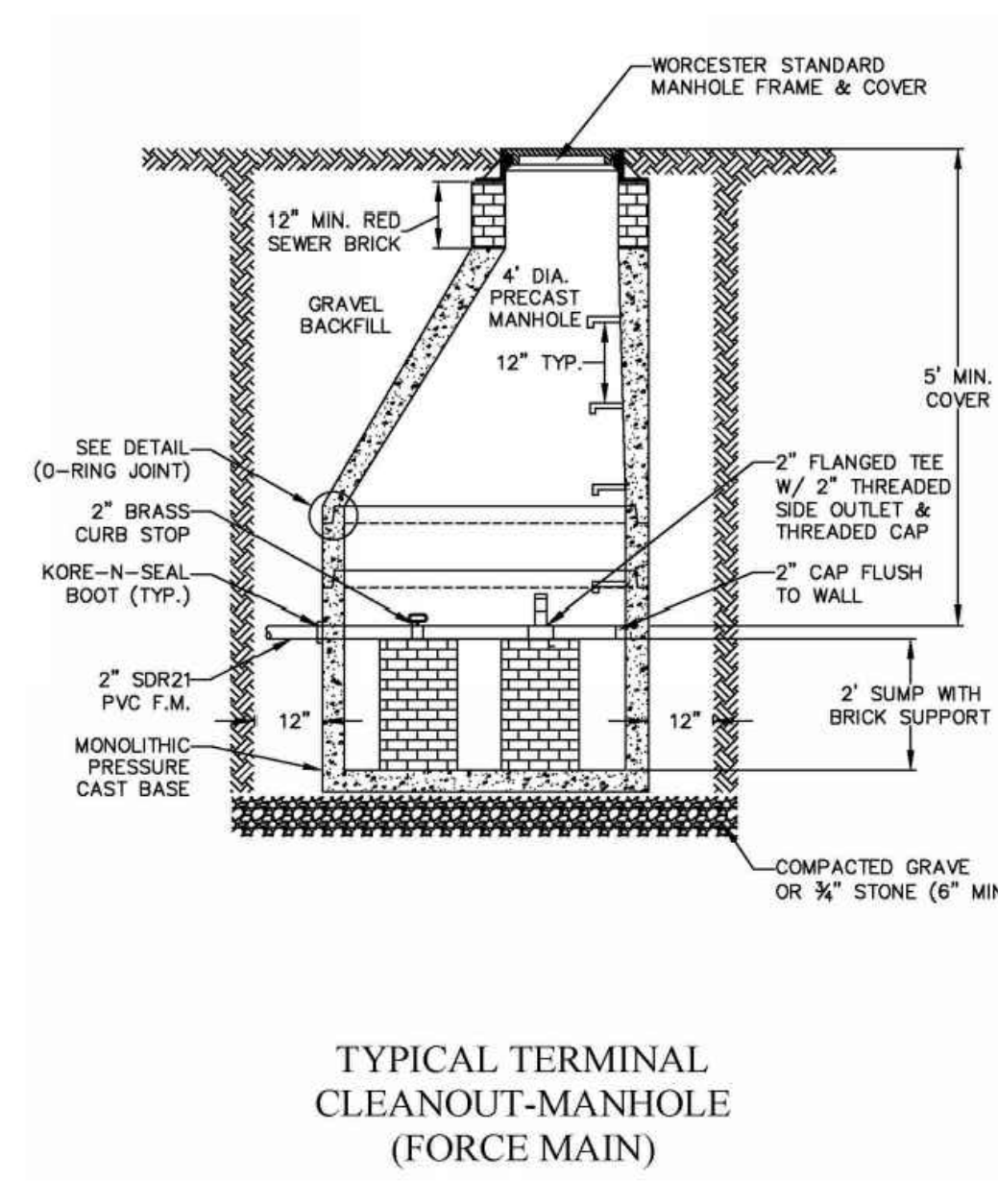
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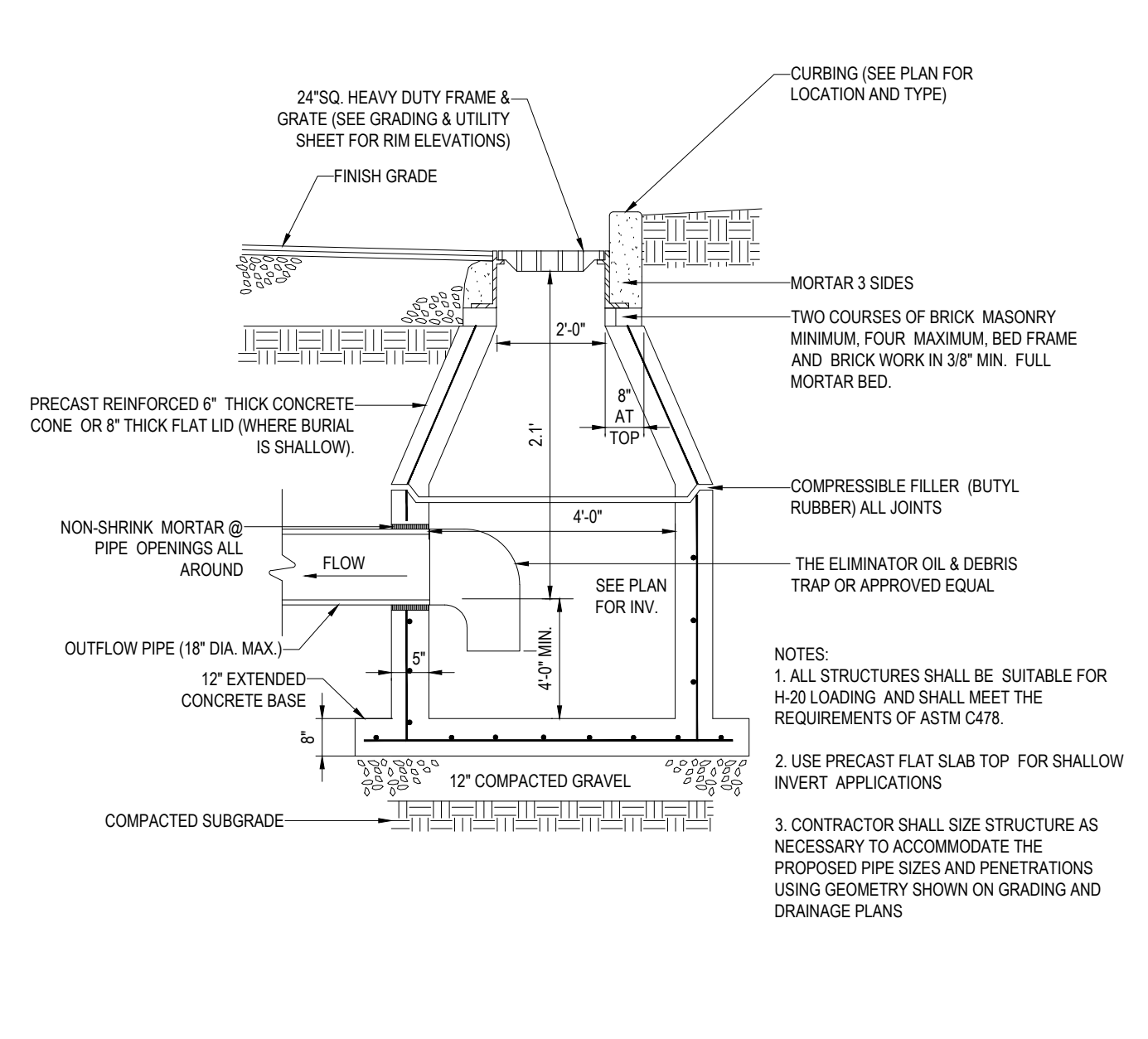
CITY OF WORCESTER HYDRANT DETAIL



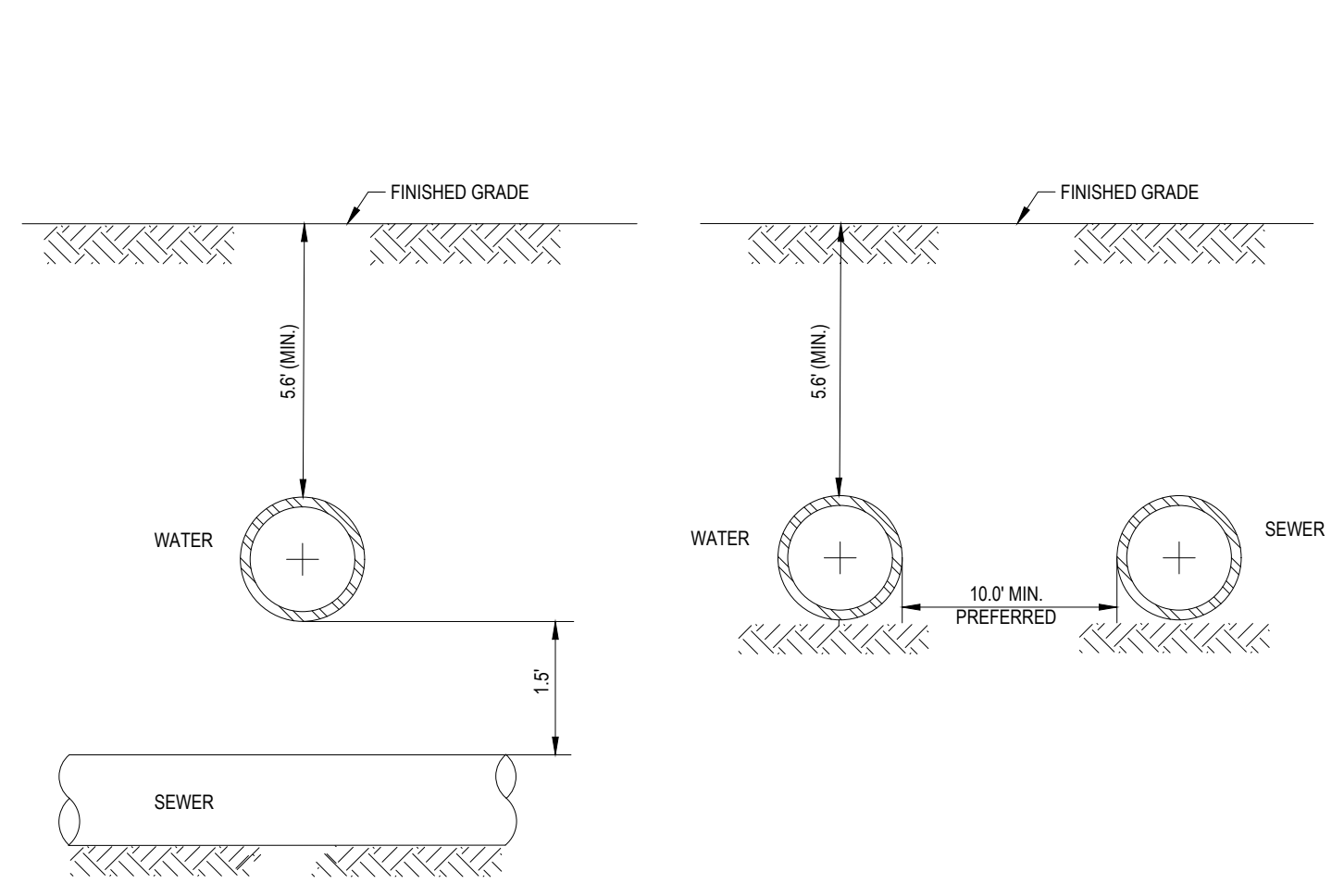
CITY OF WORCESTER TYPICAL SEWER/RAIN MANHOLE DETAIL



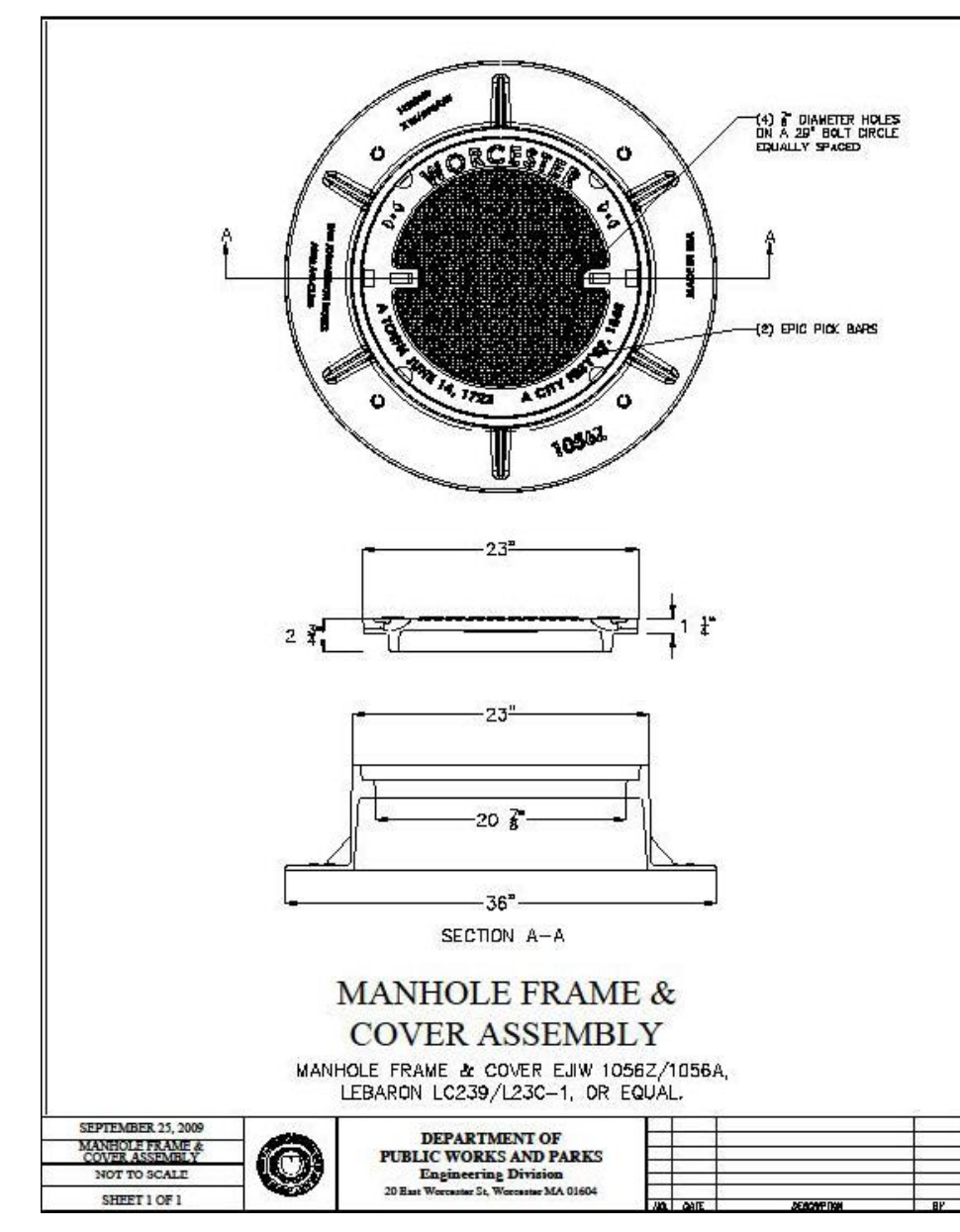
CITY OF WORCESTER FORCE MAIN TERMINAL CLEANOUT MANHOLE DETAIL



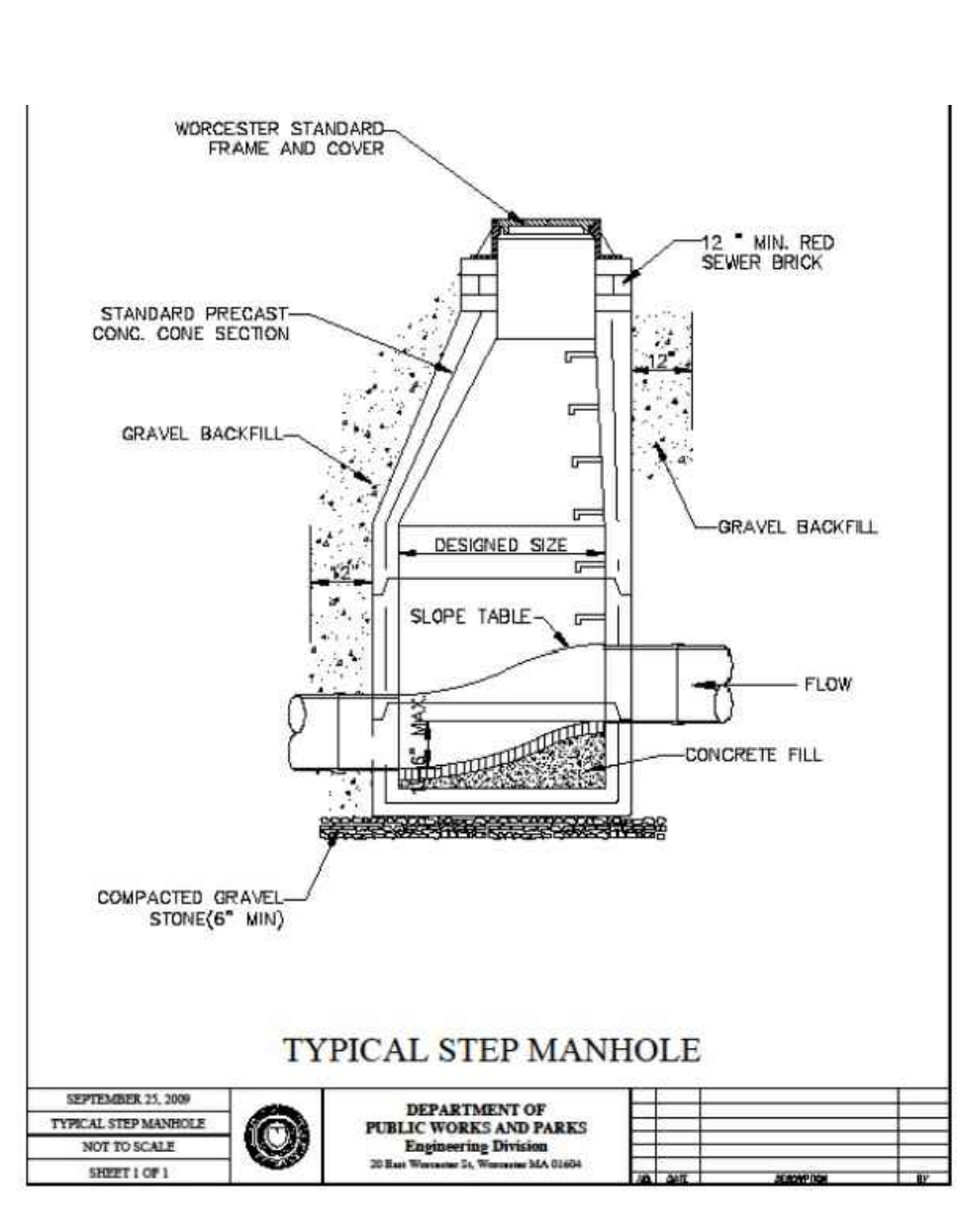
PRECAST CONCRETE DEEP SUMP CATCH BASIN DETAIL



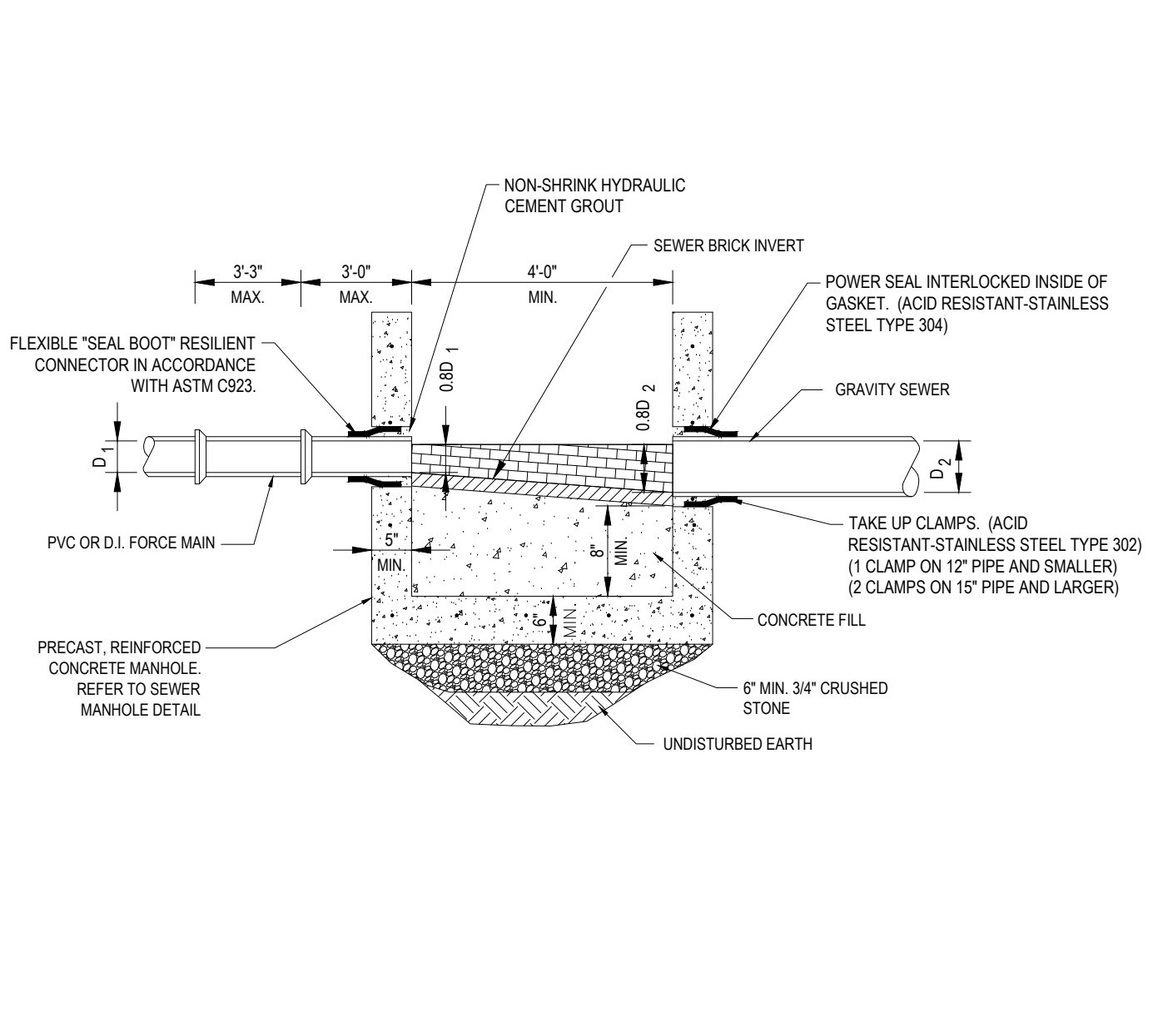
WATER/SEWER CROSSING DETAIL



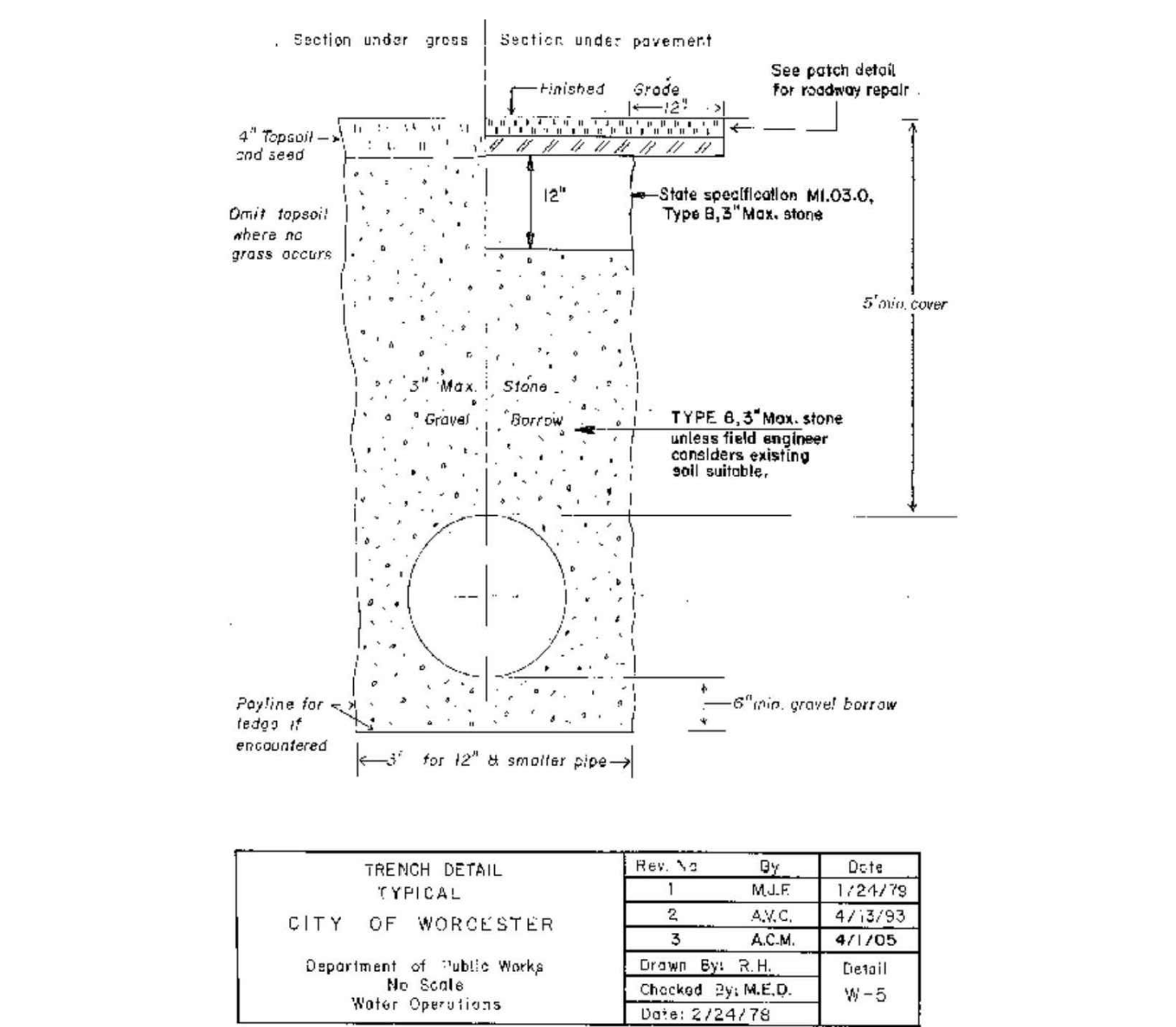
CITY OF WORCESTER SEWER/RAIN MANHOLE FRAME AND COVER DETAIL



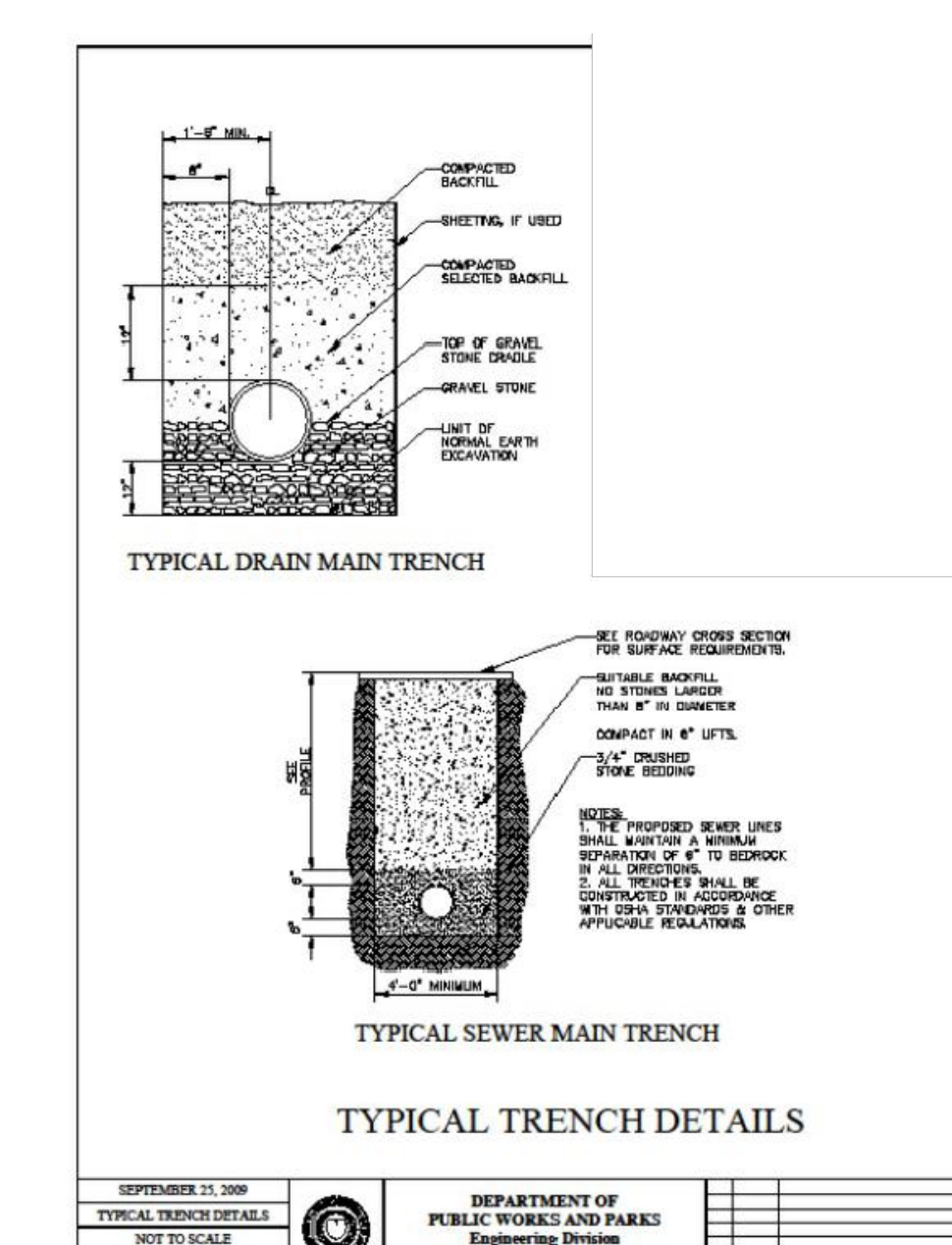
CITY OF WORCESTER TYPICAL SEWER/RAIN STEP MANHOLE DETAIL



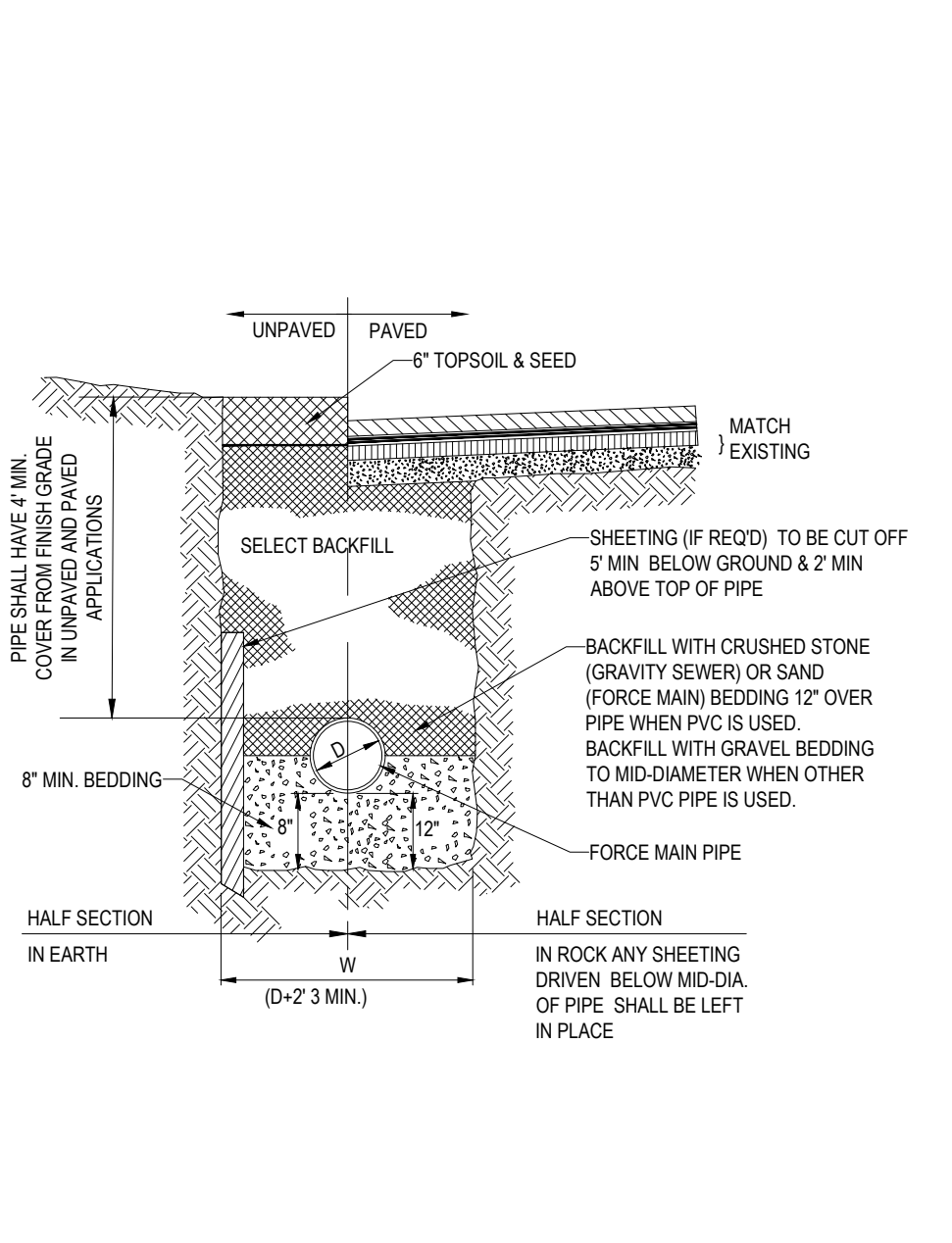
FORCE MAIN MANHOLE DETAIL



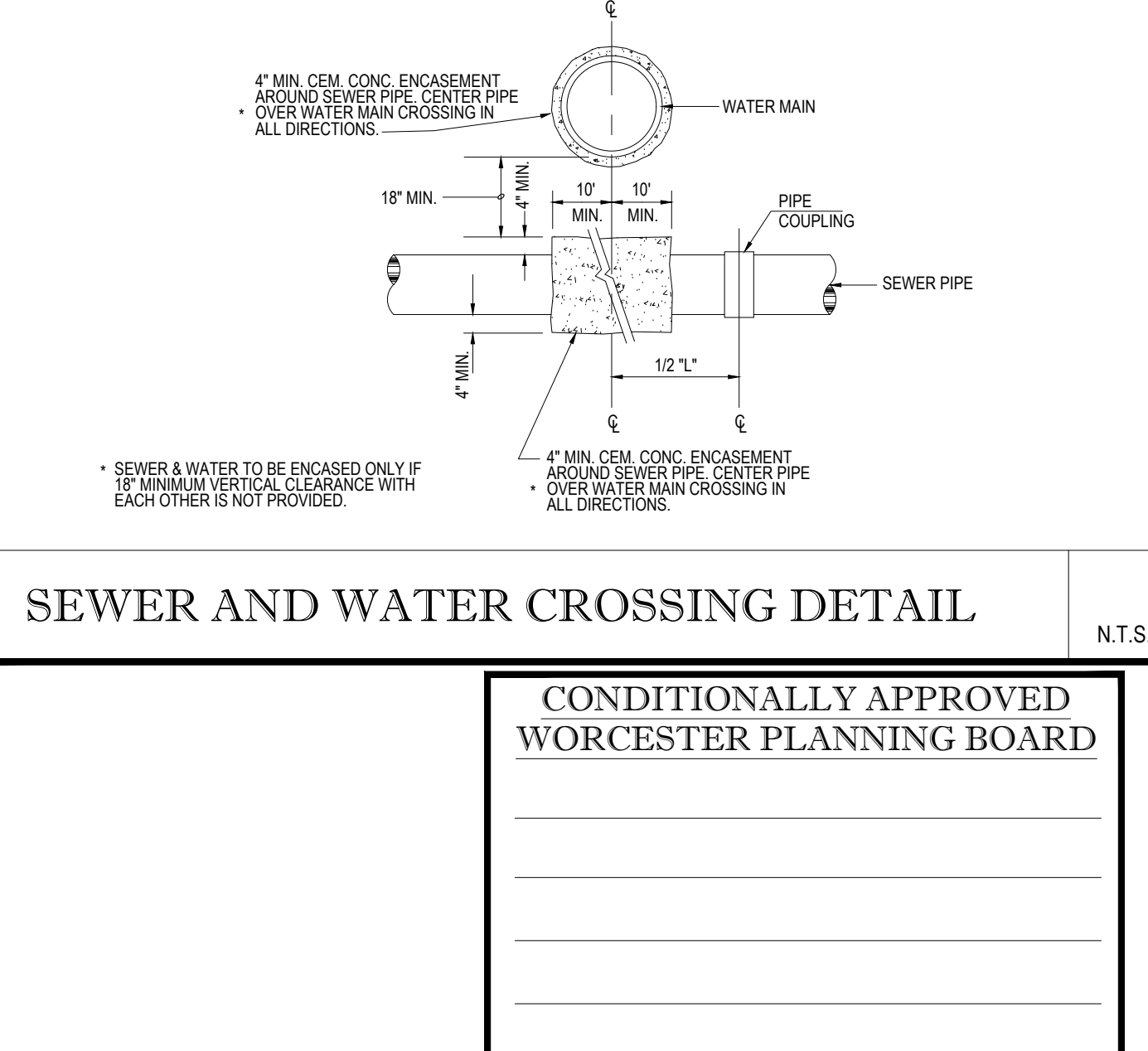
CITY OF WORCESTER TYPICAL WATER TRENCH DETAIL



CITY OF WORCESTER TYPICAL SEWER/RAIN TRENCH DETAIL



SEWER FORCEMAIN TRENCH



SEWER AND WATER CROSSING DETAIL

CONDITIONALLY APPROVED WORCESTER PLANNING BOARD

SHEET TITLE:

DATE

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
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PROJECT No.: W171219
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DATE: 06/22/2020
CAD ID.: W171219_S88_DETAILS

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MAP #50, LOT #023
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CITY OF WORCESTER
WORCESTER COUNTY
MASSACHUSETTS

BOHLER

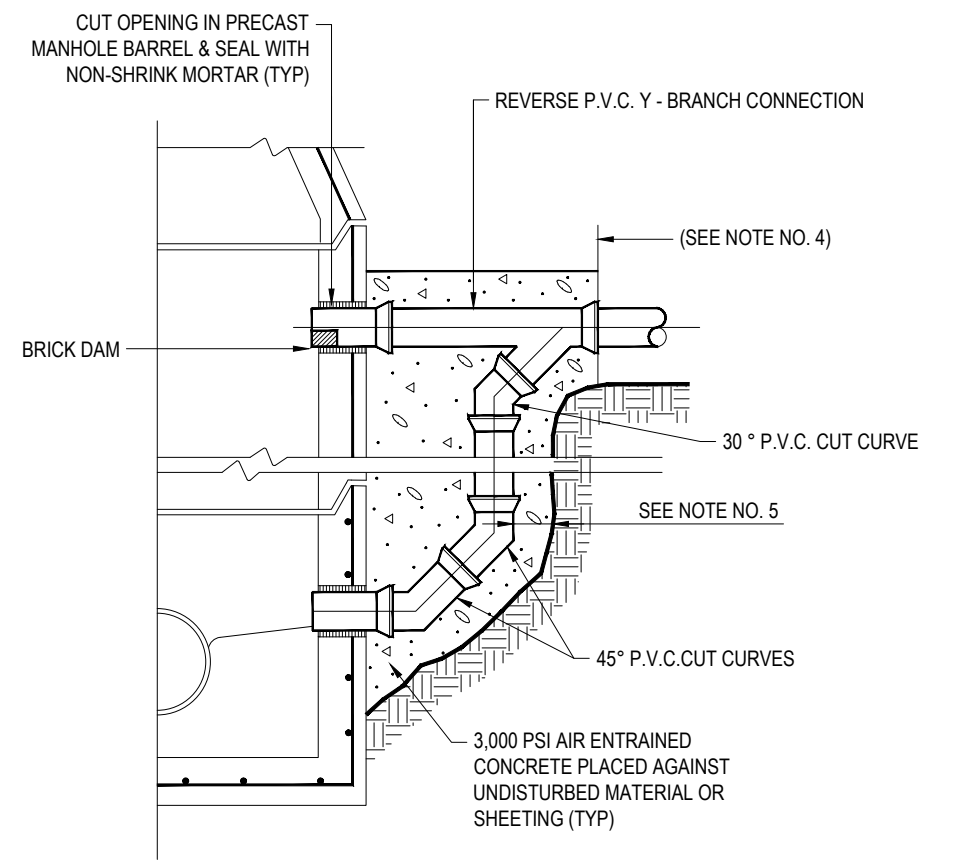
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

J. KUCIACH
Professional Engineer
No. 2616
MA License No. 2253

DETAIL SHEET

SHEET NUMBER: **C-902**

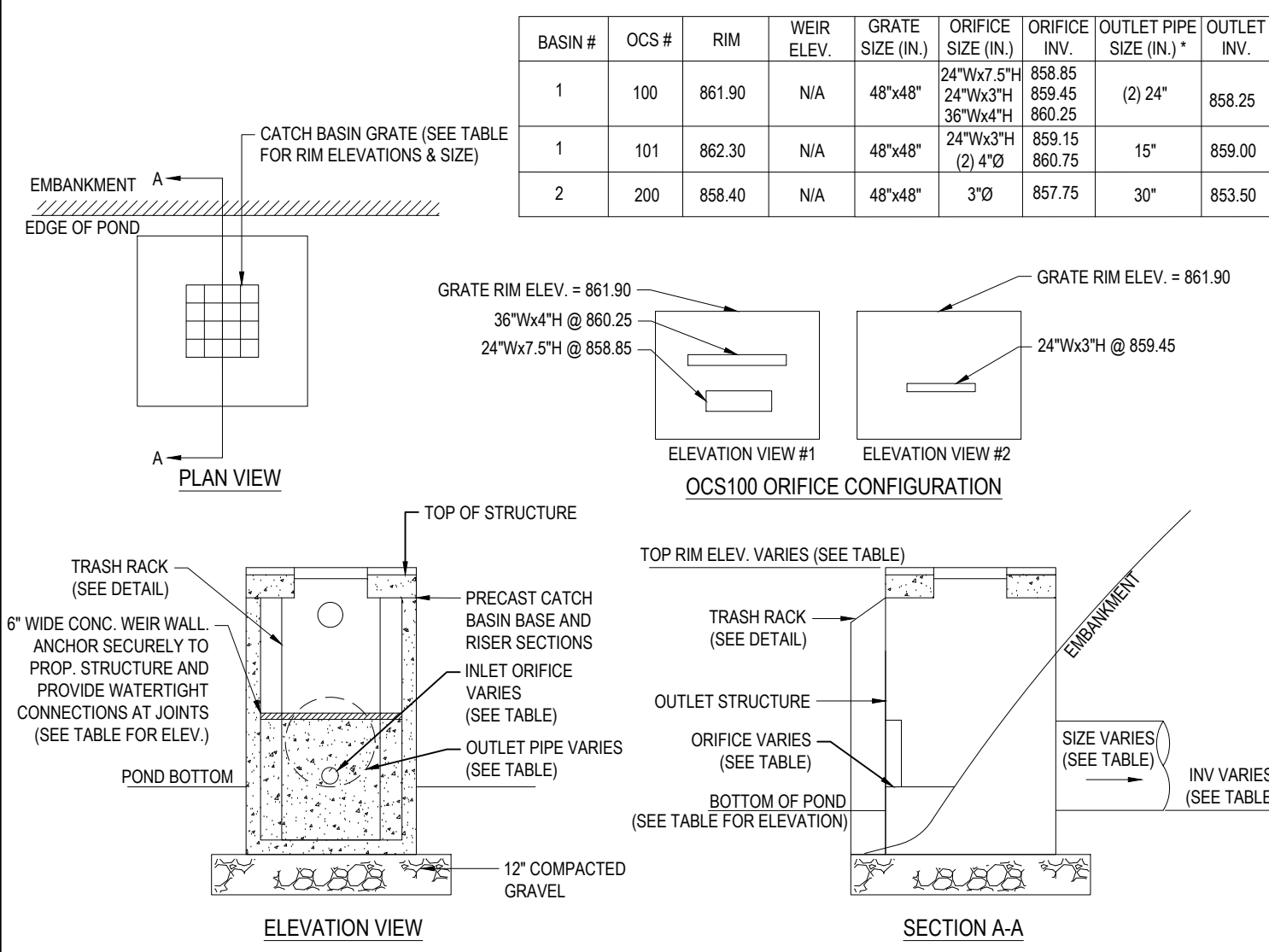
REVISION 5 - 03/07/2024



- NOTES:
- DIMENSIONS & CONSTRUCTION OF DROP MANHOLE TO BE SIMILAR TO TYPICAL PRECAST CONCRETE MANHOLE, (SHEET #, EXCEPT AS SHOWN).
 - DROP PIPE TO BE SAME DIAMETER AS SEWER DISCHARGING INTO MANHOLE.
 - DEEPER DROP MAY BE CONSTRUCTED WITH STRAIGHT PIPE BETWEEN Y - BRANCH AND ELBOW.
 - EXTEND CONCRETE ENCASUREMENT TO FIRST JOINT BEYOND EXCAVATION FOR DROP CONNECTION.
 - ALL DROP PIPING TO HAVE A MIN. 6" CONCRETE ENCASUREMENT, AS SHOWN.

SEWER DROP INLET

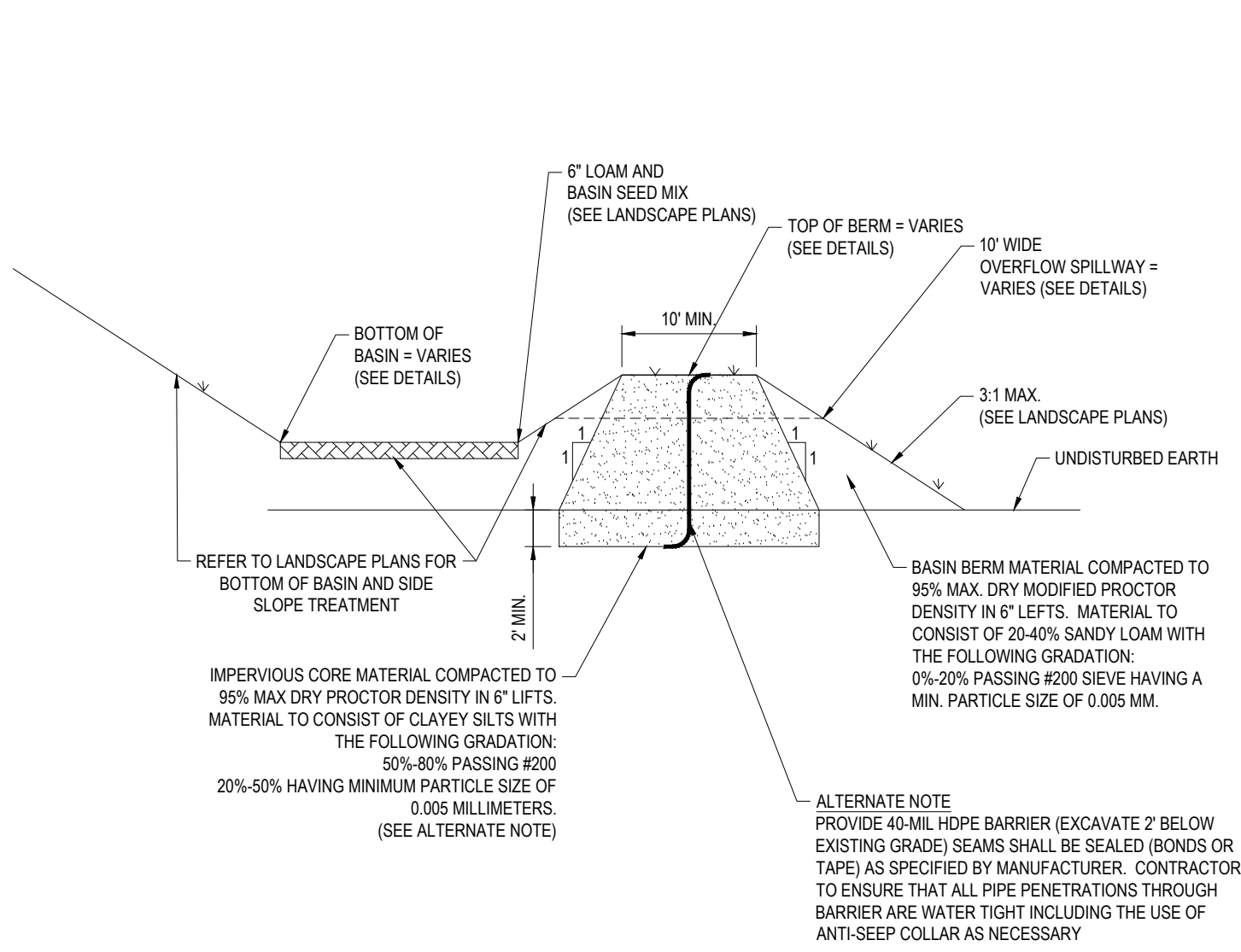
N.T.S.



- NOTES:
- CONTRACTOR SHALL SIZE STRUCTURE AS NECESSARY TO ACCOMMODATE THE PROPOSED PIPE SIZES AND PENETRATIONS USING GEOMETRY SHOWN ON THE GRADING AND DRAINAGE PLANS AS WELL AS INFORMATION PROVIDED IN THIS DETAIL.
 - STRUCTURES SHALL BE SUITABLE FOR H2O LOADING.

DETENTION BASIN OUTLET STRUCTURES

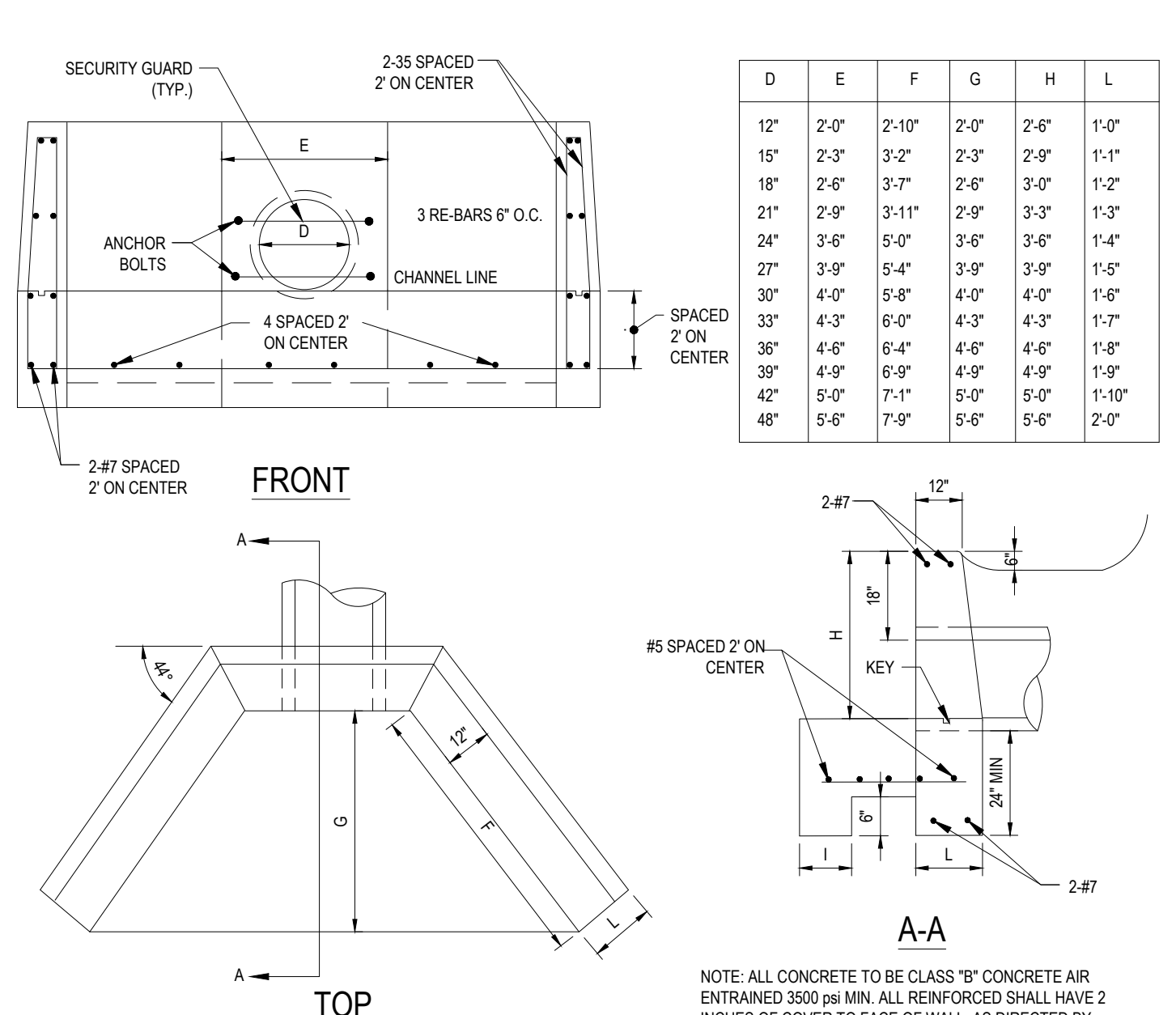
N.T.S.



NOTE: FOUNDATION FOR BERM CONSTRUCTION SHALL BE CLEARED OF ALL TOP SOIL, ROCKS, STUMPS, OR OTHER DELETERIOUS MATERIAL TO A FIRM SURFACE.

BASIN IMPERVIOUS CORE DETAIL

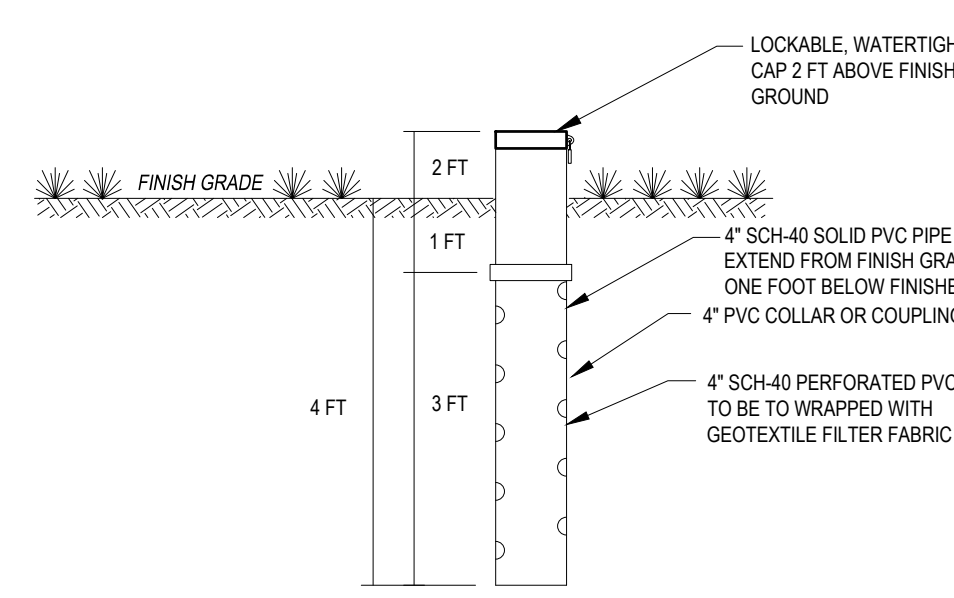
N.T.S.



NOTE: ALL CONCRETE TO BE CLASS "B" CONCRETE AIR ENTRAINED 3500 PSI MIN. ALL REINFORCED SHALL HAVE 2 INCHES OF COVER TO FACE OF WALL AS DIRECTED BY THE CITYSHIP ENGINEER.

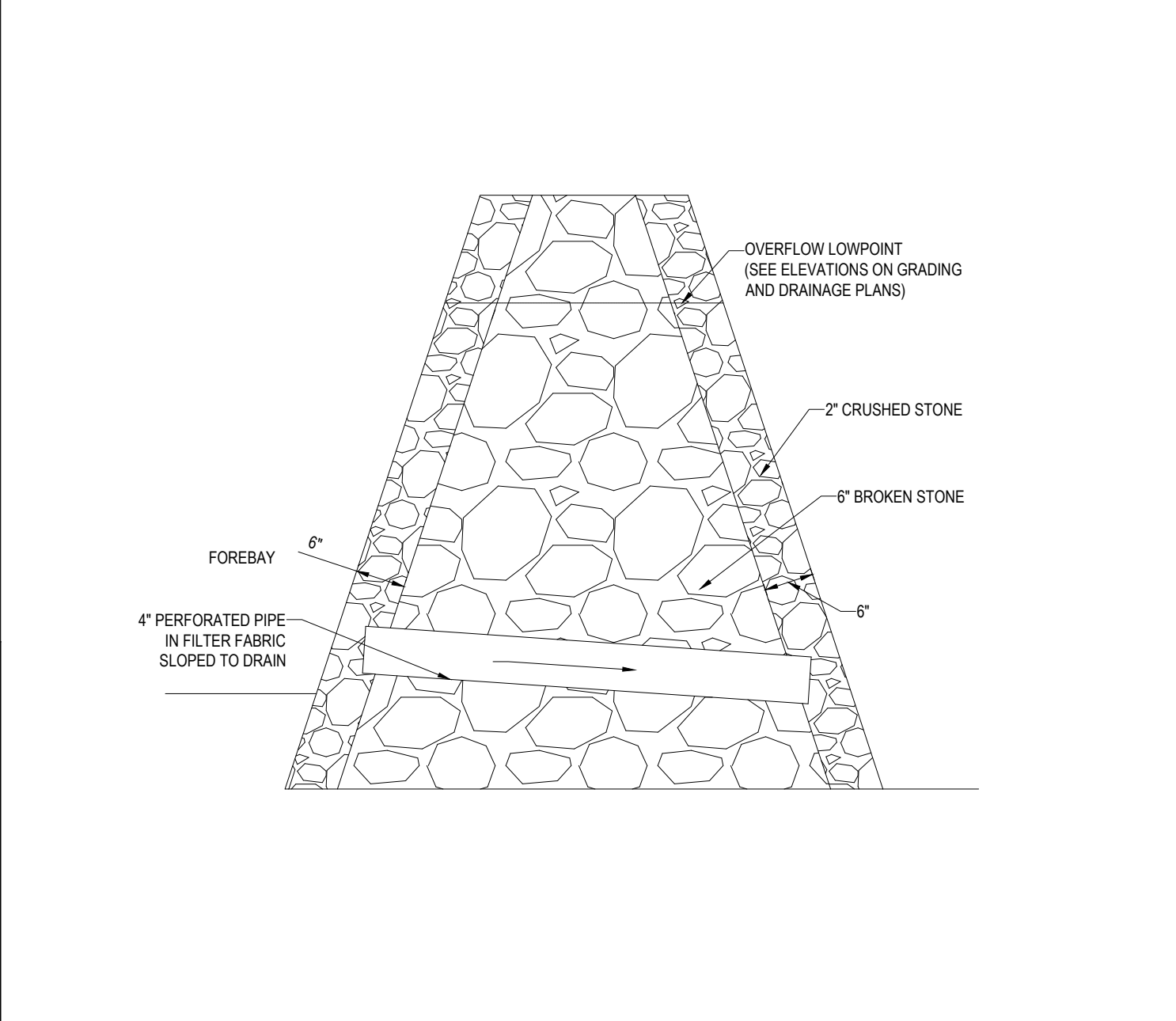
HEAD WALL DETAIL

N.T.S.



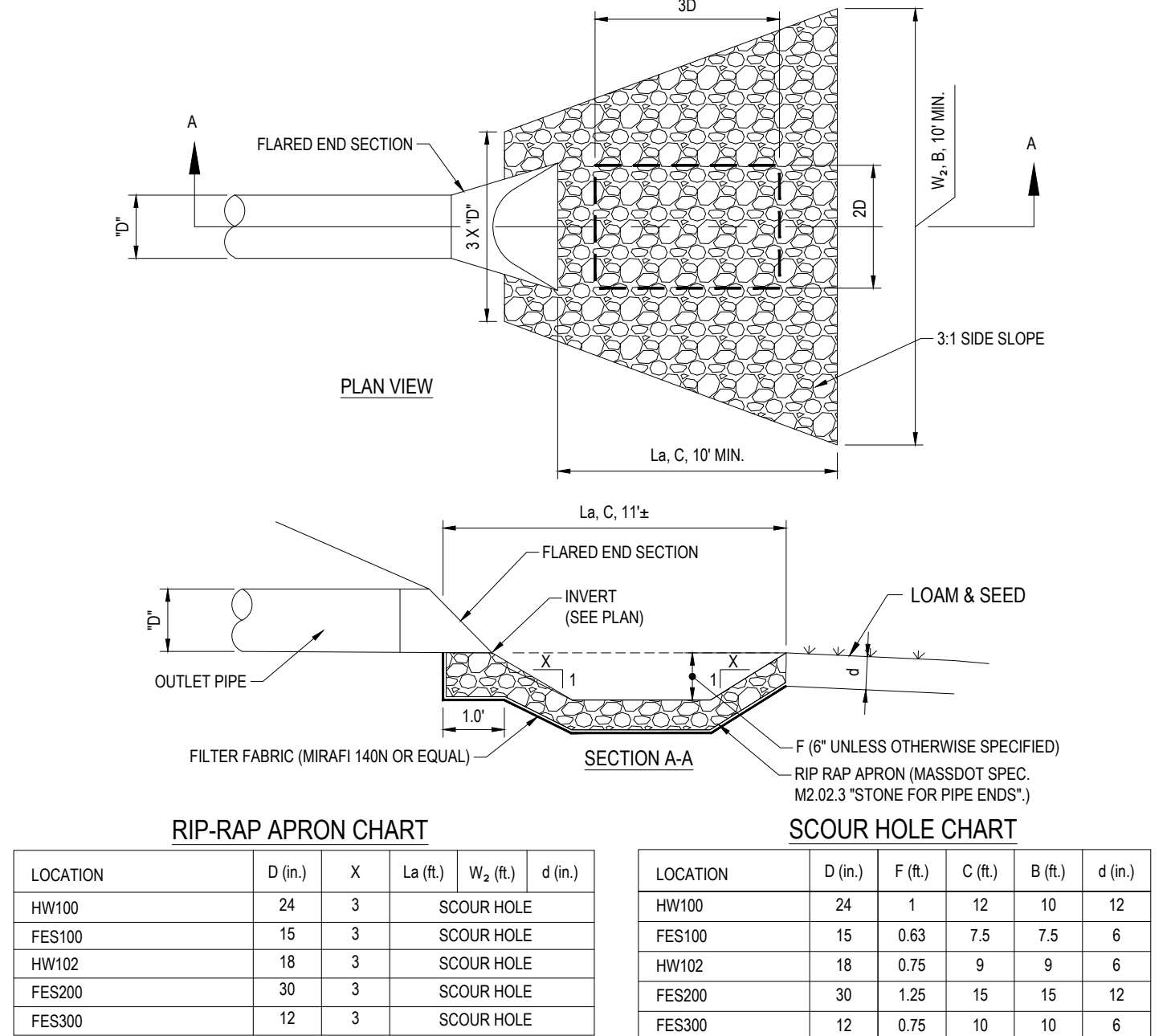
MONITORING WELL DETAIL

N.T.S.



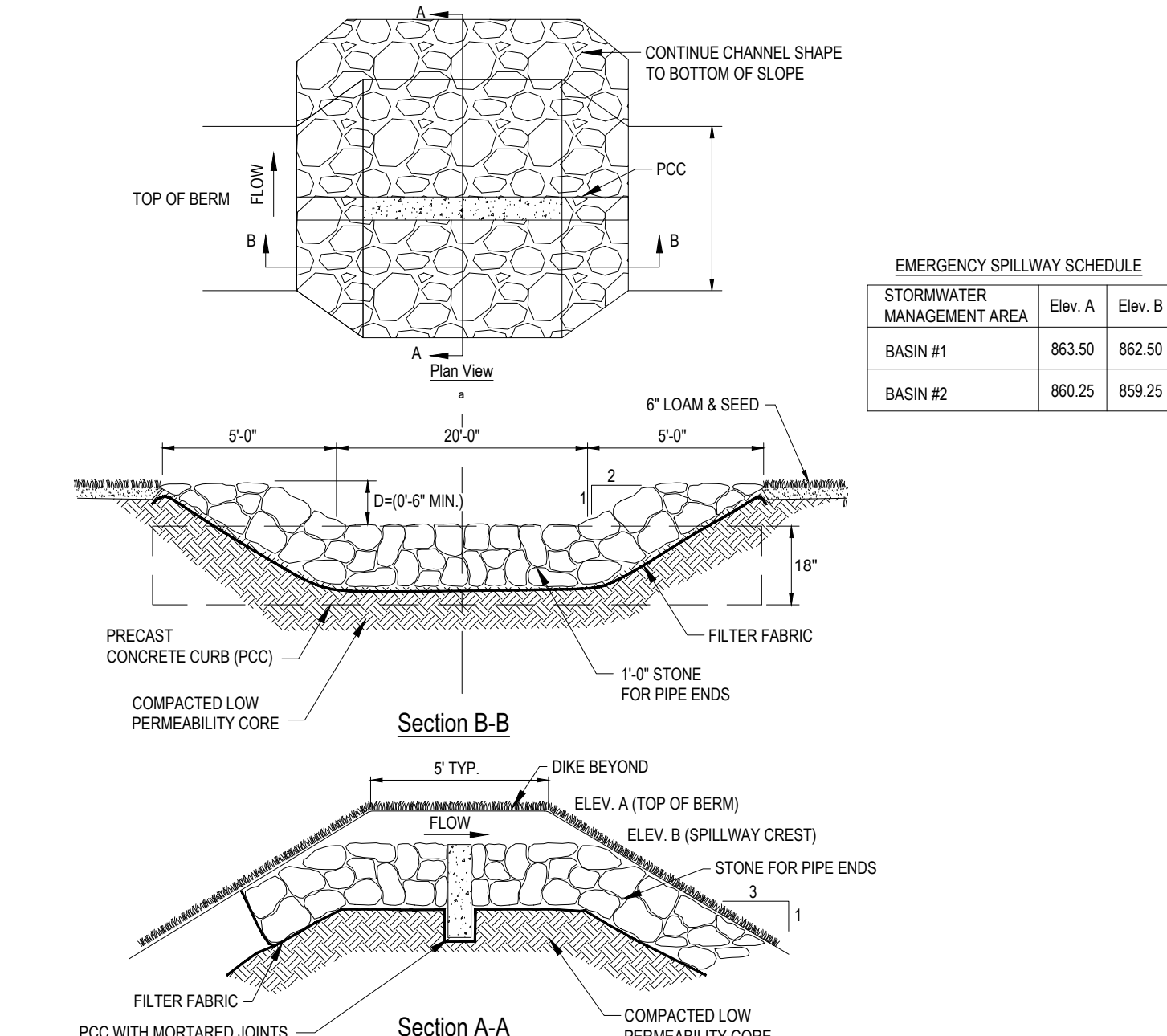
STONE FOREBAY DAM

N.T.S.



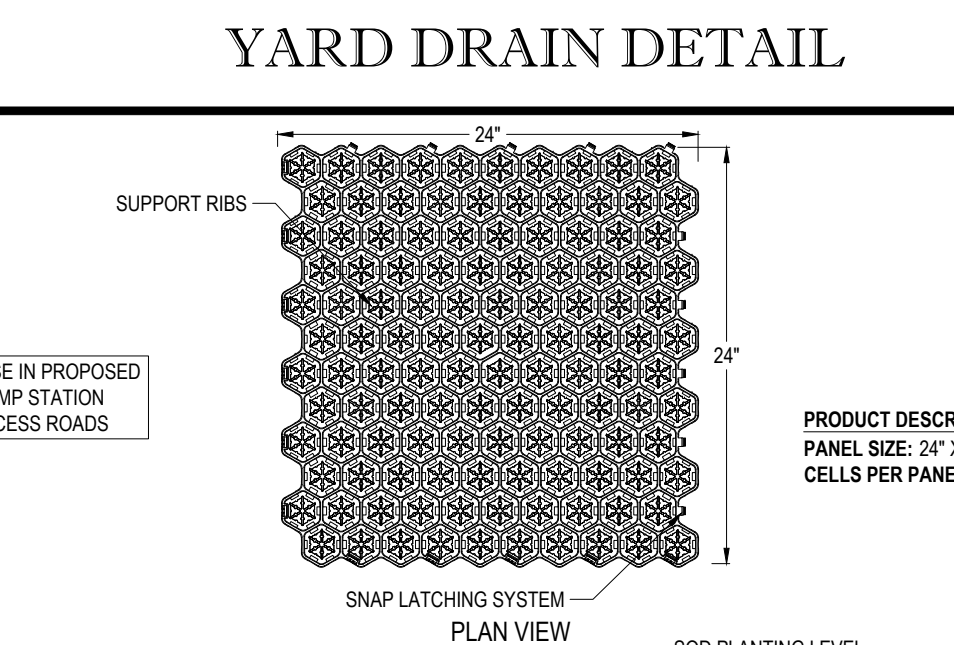
FLARED END SECTION WITH RIP-RAP APRON / SCOUR HOLE

N.T.S.



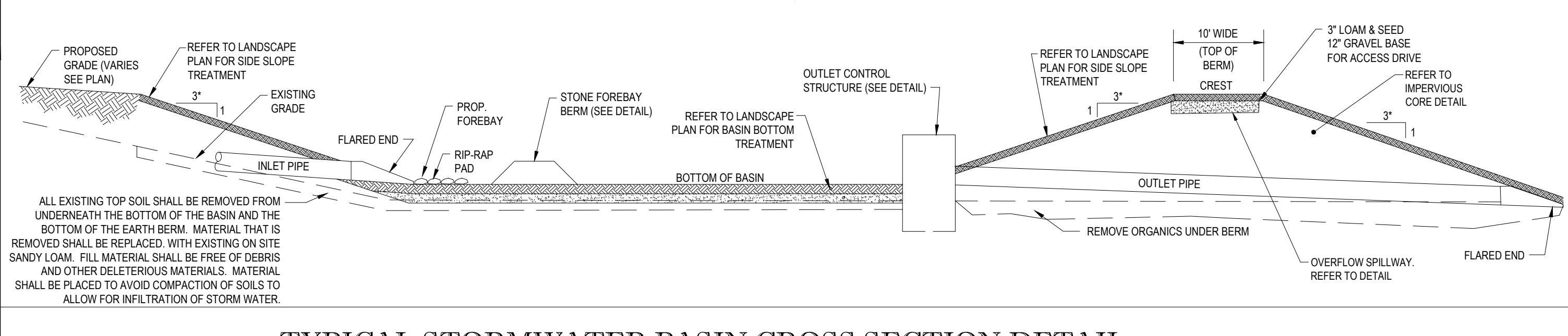
OVERFLOW SPILLWAY

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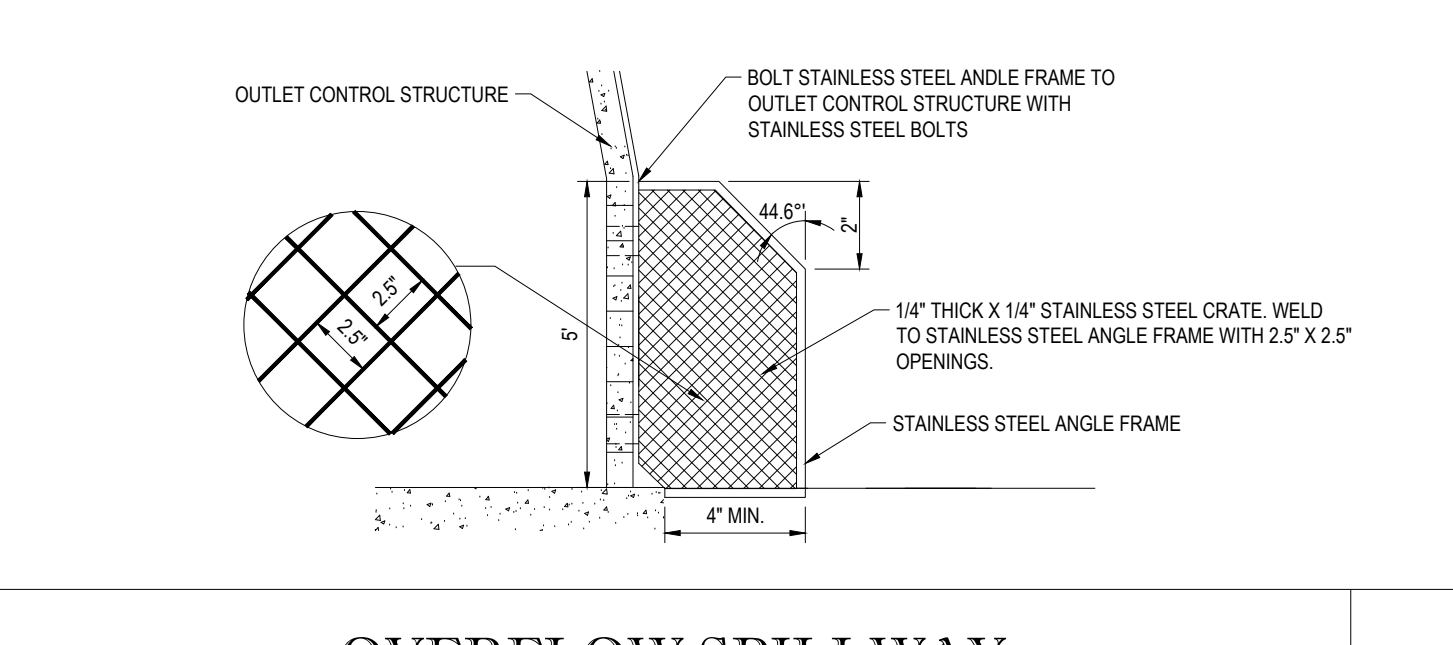
YARD DRAIN DETAIL

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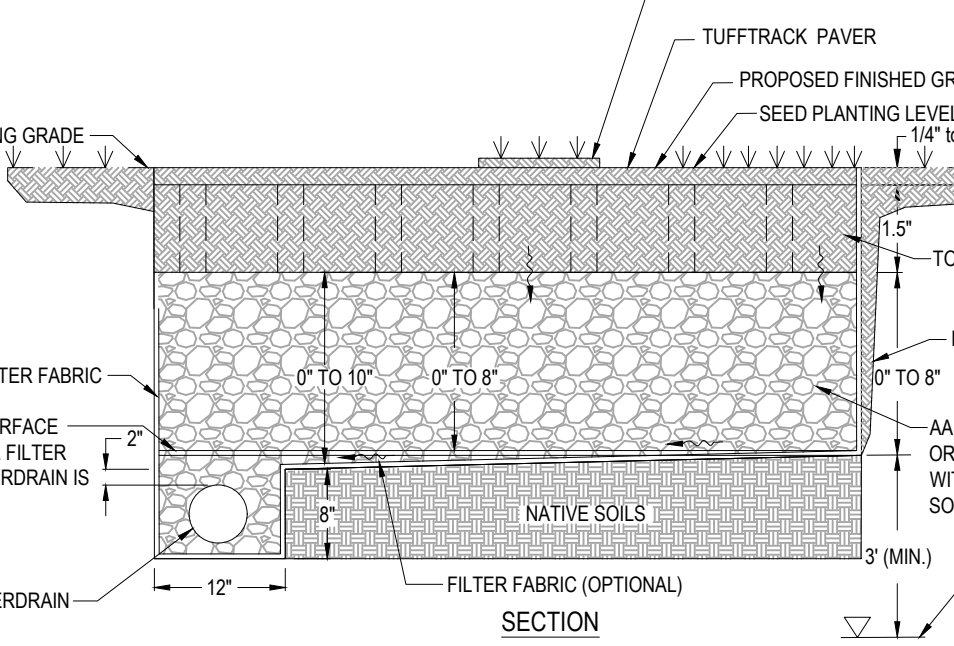
TYPICAL STORMWATER BASIN CROSS SECTION DETAIL

N.T.S.



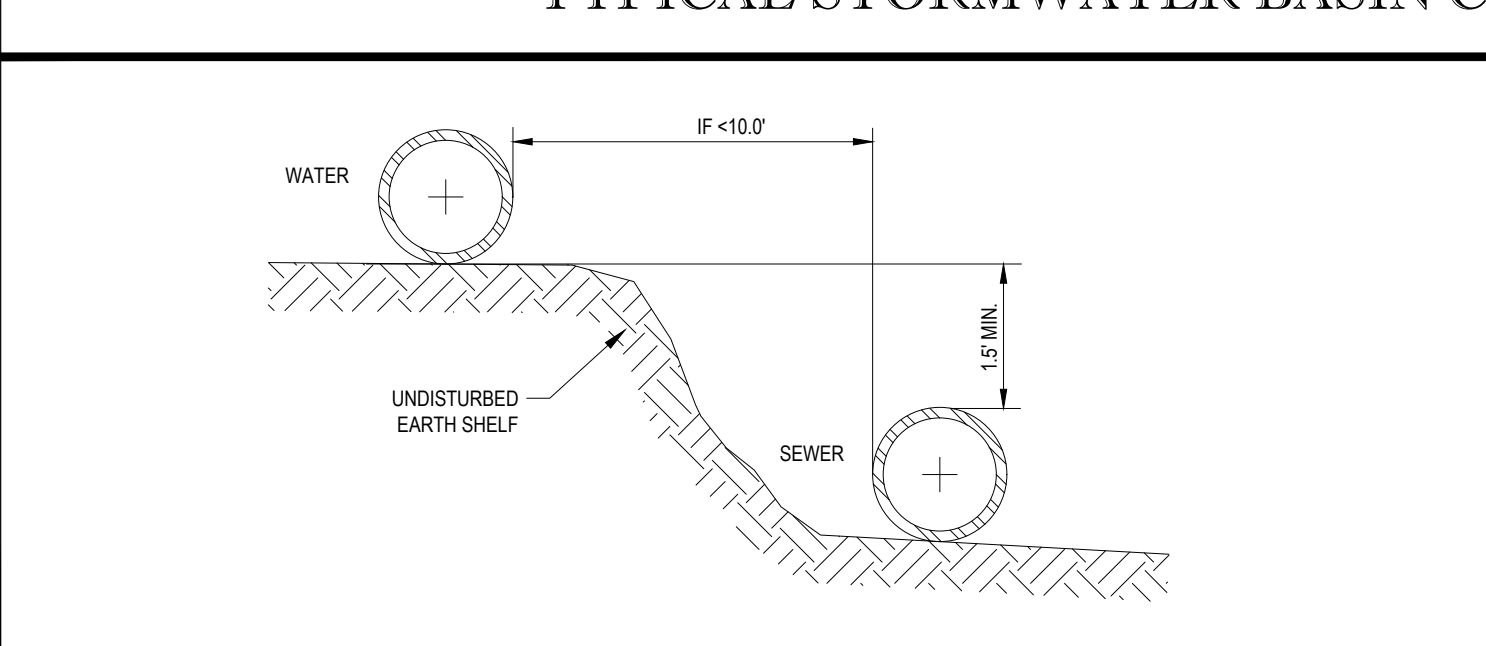
OVERFLOW SPILLWAY

N.T.S.



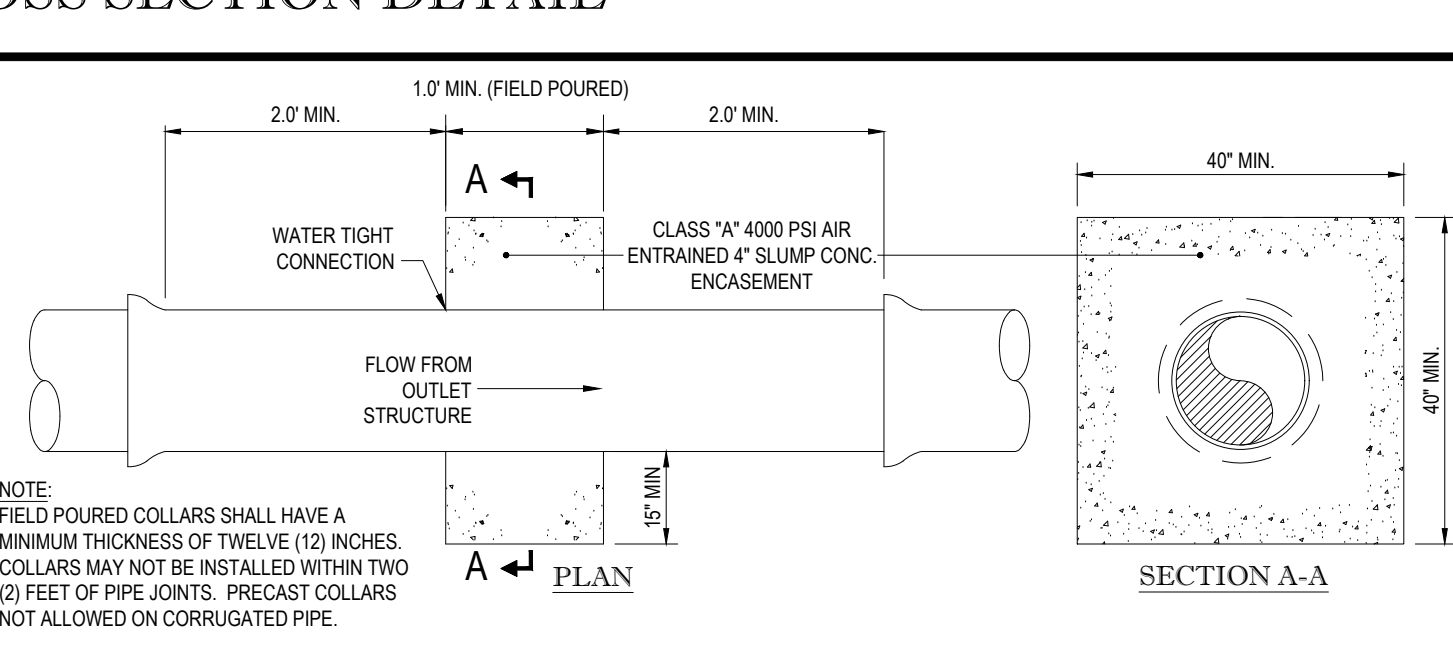
TUFFTRACK DETAIL

N.T.S.



WATER/SEWER SEPARATION DETAIL

N.T.S.



ANTI-SEEP COLLAR DETAIL

N.T.S.

CONDITIONALLY APPROVED
WORCESTER PLANNING BOARD

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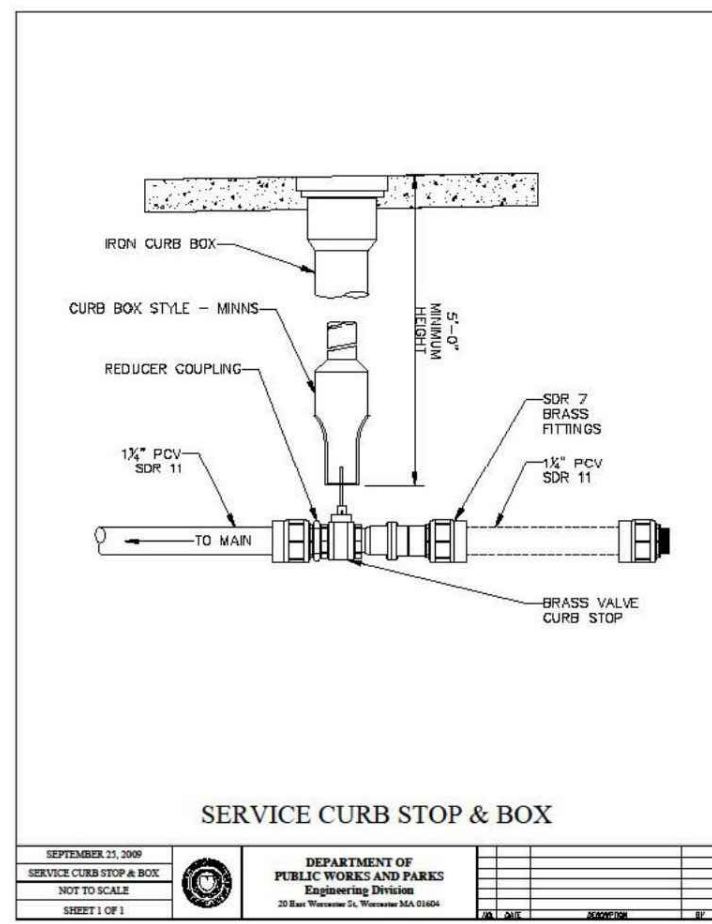
J. KUCIACH
Professional Engineer
NEW HAMPSHIRE LICENSE #1547
MASSACHUSETTS LICENSE #1177
REGISTERED PROFESSIONAL ENGINEER
MORNING LICENSE NO. 2253

SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C-903

REVISION 5 - 03/07/2024

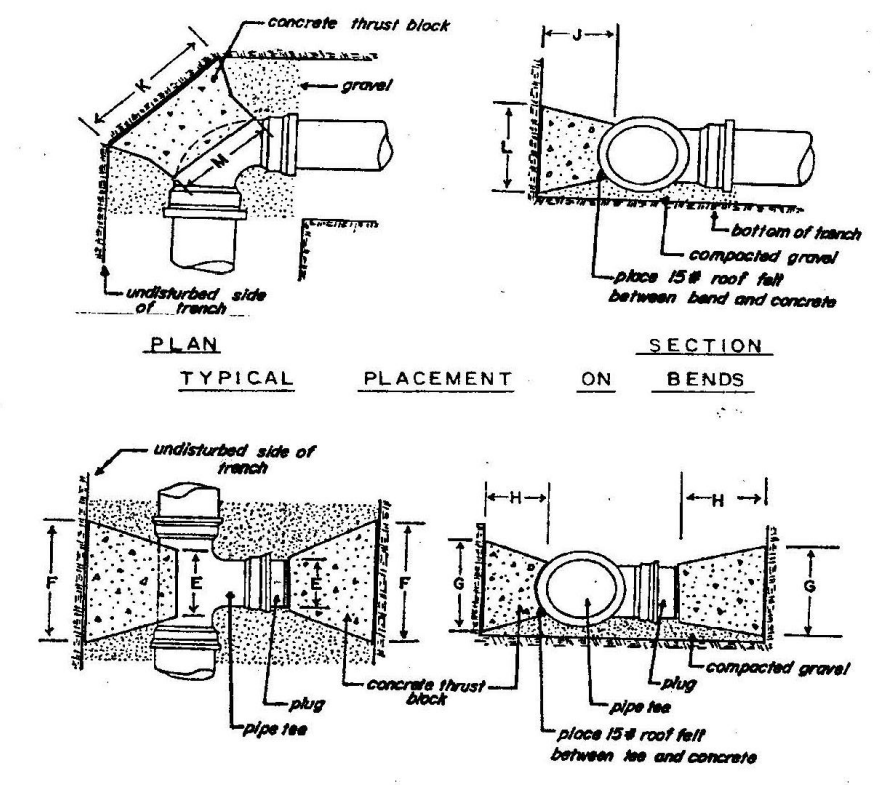
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SERVICE CURB STOP & BOX

APPROVED BY THE
 DEPARTMENT OF PUBLIC WORKS AND PARKS
 CITY OF WORCESTER
 03/07/2024

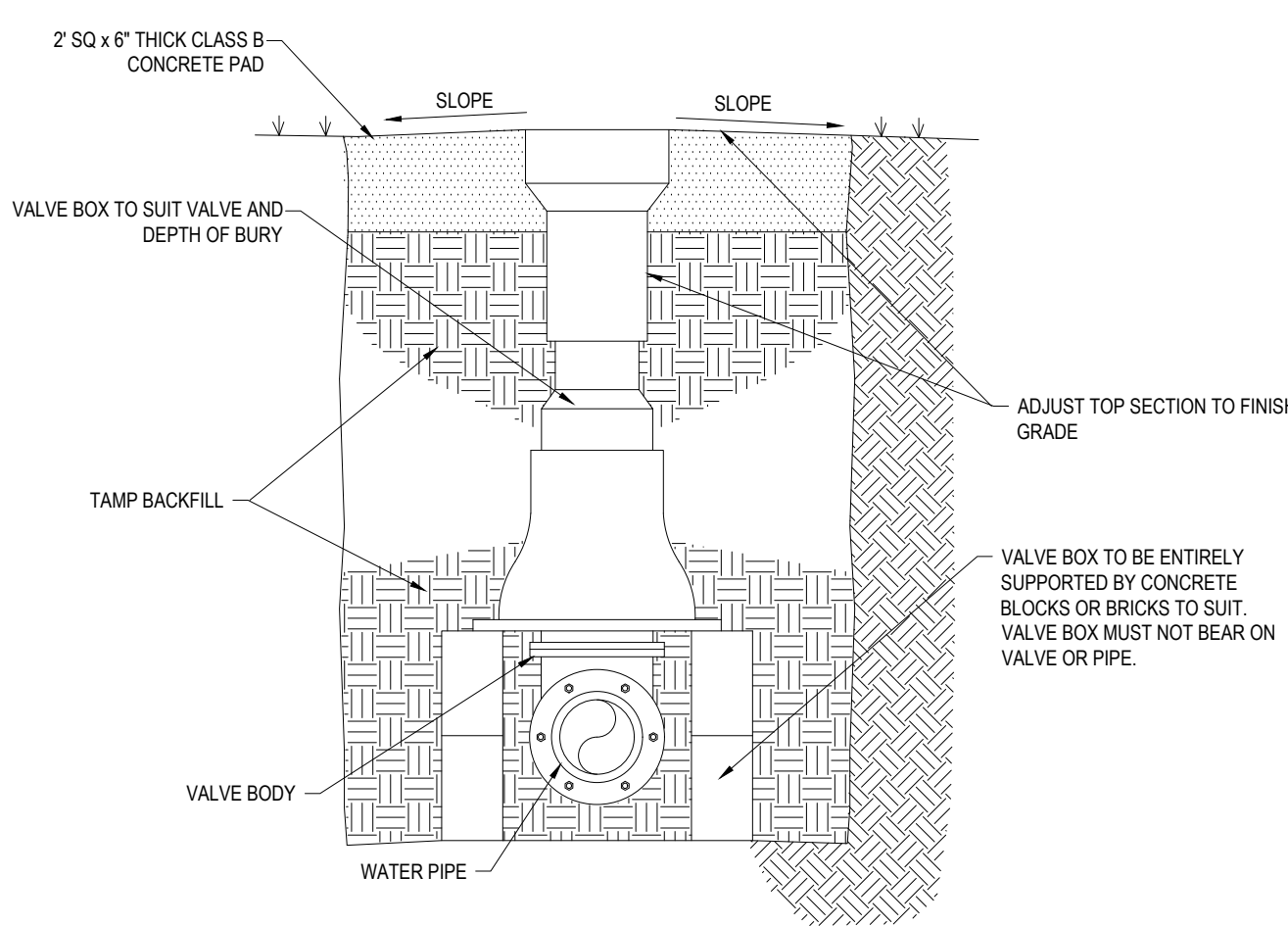
Worcester, 2018 3-18 FINAL 324



CITY OF WORCESTER THRUST BLOCK DETAIL

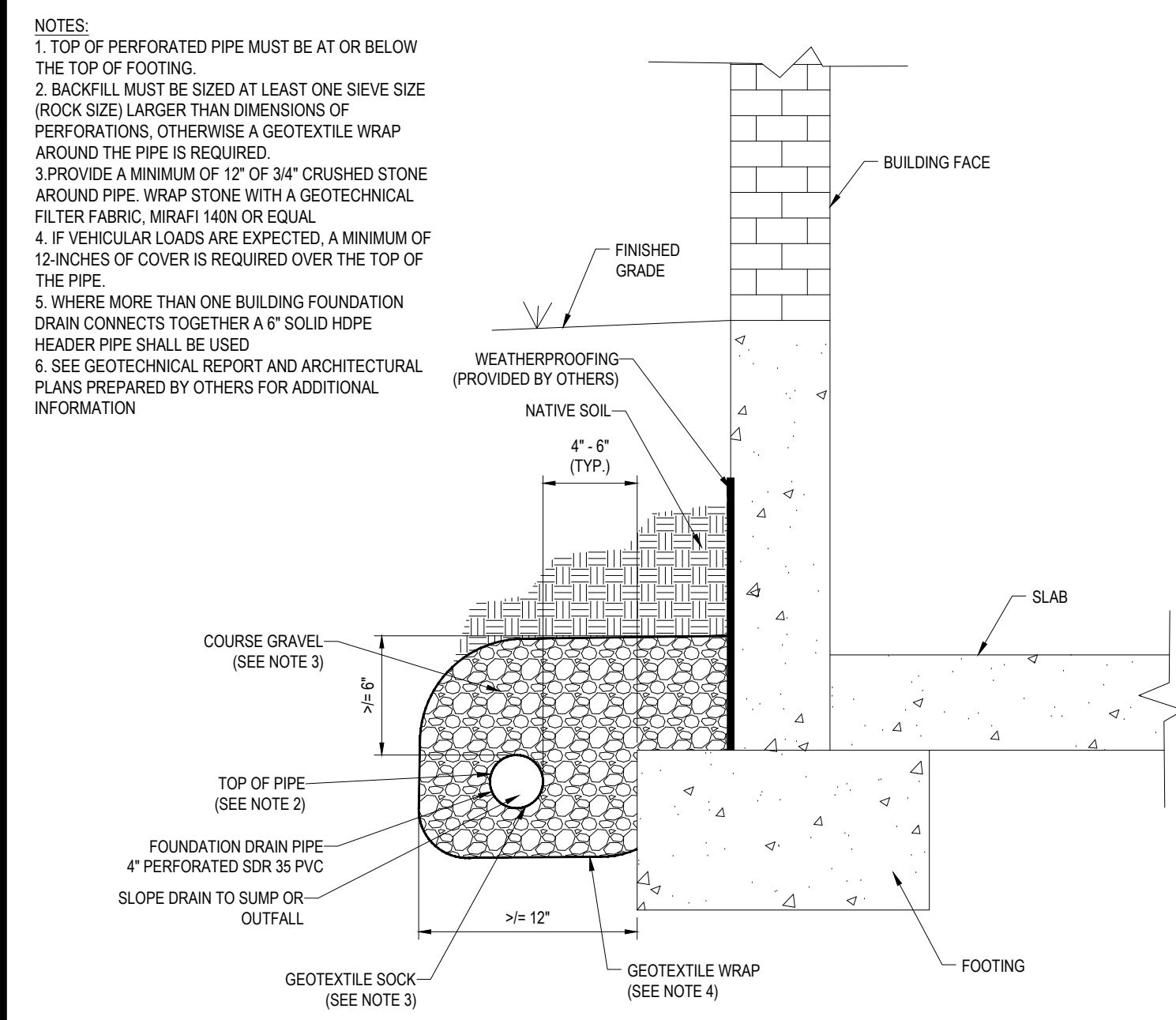
Rev. no.	by	date

Drawn By: R.H. Detail
 Checked By: A.C.M. W-12
 Date: 2/24/78
 Department of Public Works
 No Scale
 Water Operations



GATE VALVE

NOTE: GATE VALVE SHALL BE IN ACCORDANCE WITH THE TOWN OF MAYNARD DEPARTMENT OF PUBLIC WORKS MATERIALS SPECIFICATIONS.



FOUNDATION DRAIN DETAIL

NOTES:
 1. TOP OF PERFORATED PIPE MUST BE AT OR BELOW THE TOP OF FOOTING
 2. BACKFILL MUST BE SIZED AT LEAST ONE SIEVE SIZE (ROCK SIZE) LARGER THAN DIMENSIONS OF PERFORATIONS, OTHERWISE A GEOTEXTILE WRAP AROUND THE PIPE IS REQUIRED
 3. PROVIDE A MINIMUM OF 12" OF 3/4" CRUSHED STONE AROUND PIPE. WRAP STONE WITH A GEOTECHNICAL FILTER FABRIC, MIRAFI 140N OR EQUAL
 4. IF VEHICULAR LOADS ARE EXPECTED, A MINIMUM OF 12 INCHES OF COVER IS REQUIRED OVER THE TOP OF THE PIPE
 5. WHEN MORE THAN ONE BUILDING FOUNDATION DRAIN CONNECTS TOGETHER A 6" SOLID HDPE HEADER PIPE SHALL BE USED
 6. SEE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS PREPARED BY OTHERS FOR ADDITIONAL INFORMATION

CITY OF WORCESTER TYPICAL SERVICE CURB BOX & STOP DETAIL

N.T.S.

CITY OF WORCESTER THRUST BLOCK DETAIL

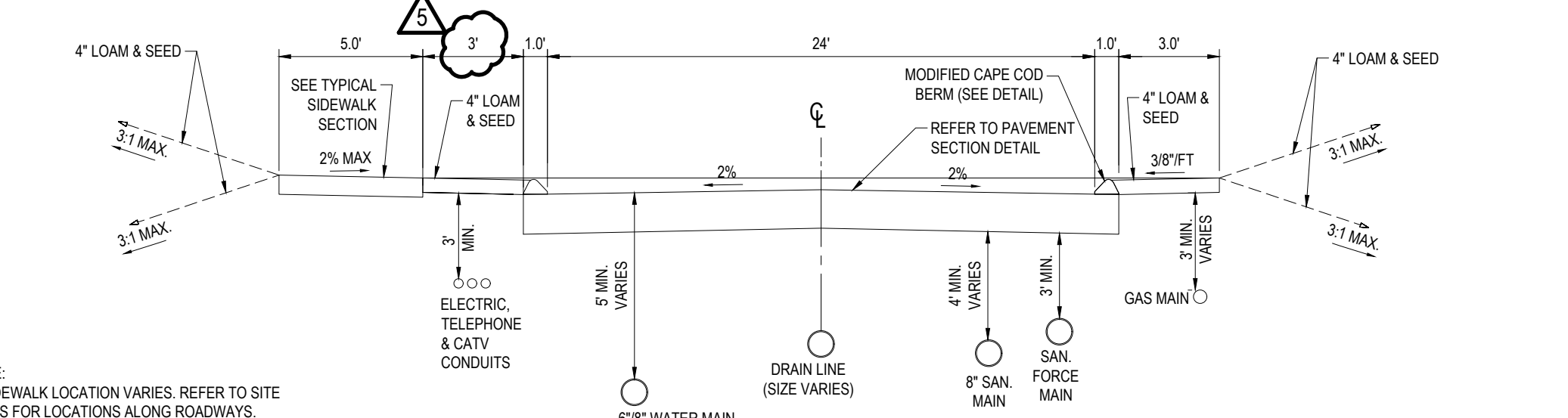
N.T.S.

GATE VALVE

N.T.S.

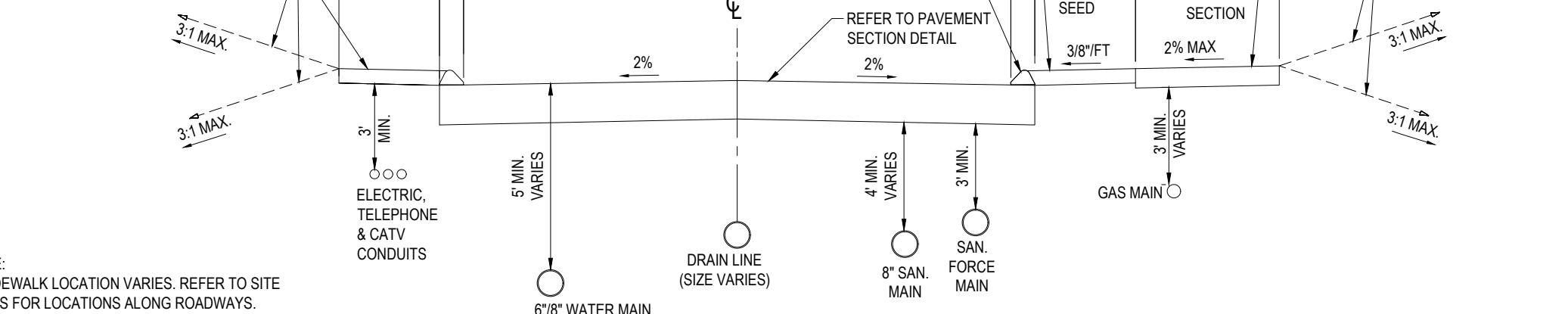
FOUNDATION DRAIN DETAIL

N.T.S.



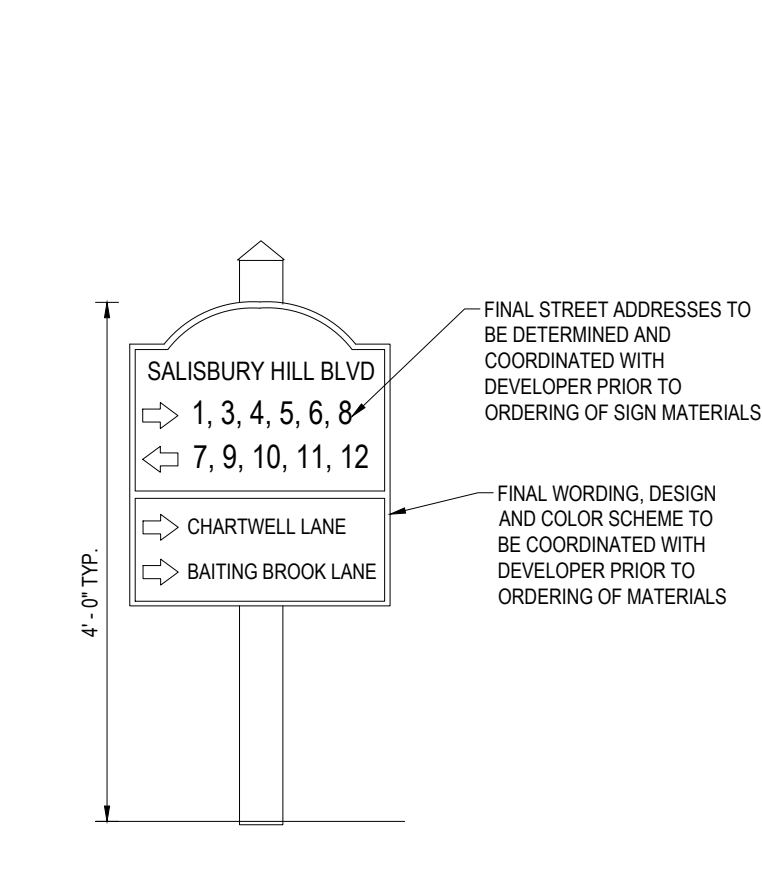
TYP. ROADWAY CROSS SECTION SALISBURY HILL BLVD., CHARTWELL LANE & DEERWOOD LANE

NOTE: 1. SIDEWALK LOCATION VARIES. REFER TO SITE PLANS FOR LOCATIONS ALONG ROADWAYS.



TYPICAL ROADWAY CROSS SECTION - BAITING BROOK LANE

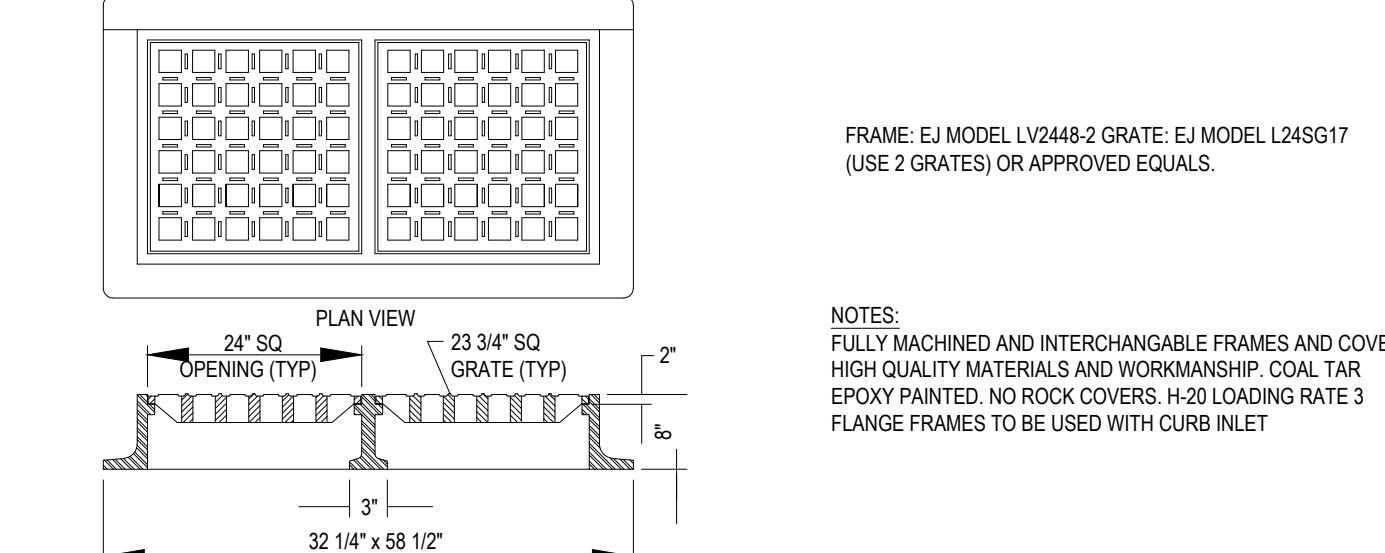
NOTE: 1. SIDEWALK LOCATION VARIES. REFER TO SITE PLANS FOR LOCATIONS ALONG ROADWAYS.



TYP. PERMANENT WAY FINDING SIGN DETAIL

FINAL STREET ADDRESSES TO BE DETERMINED AND COORDINATED WITH DEVELOPER PRIOR TO ORDERING OF SIGN MATERIALS
 FINAL WORDING DESIGN AND COLOR SCHEME TO BE COORDINATED WITH DEVELOPER PRIOR TO ORDERING OF MATERIALS

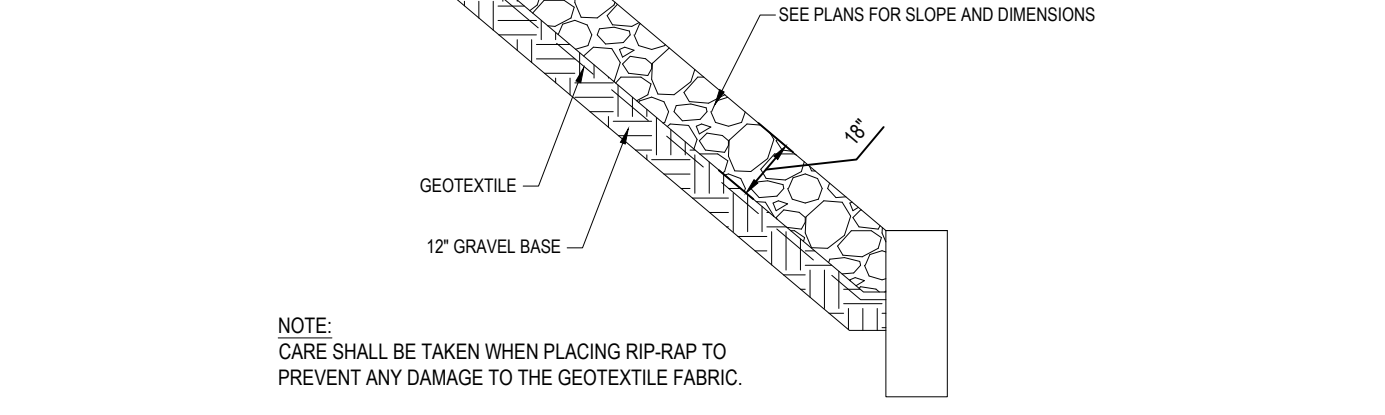
UPPER SIGN: 16" X 24"
 LOWER SIGN: 12" X 24"
 ON 4" X 4" WHITE PVC POST



TYPICAL CATCH BASIN DOUBLE GRATE

FRAME: E1 MODEL LV2448-2 GRATE: E1 MODEL L24SG17 (USE 2 GRATES) OR APPROVED EQUALS.

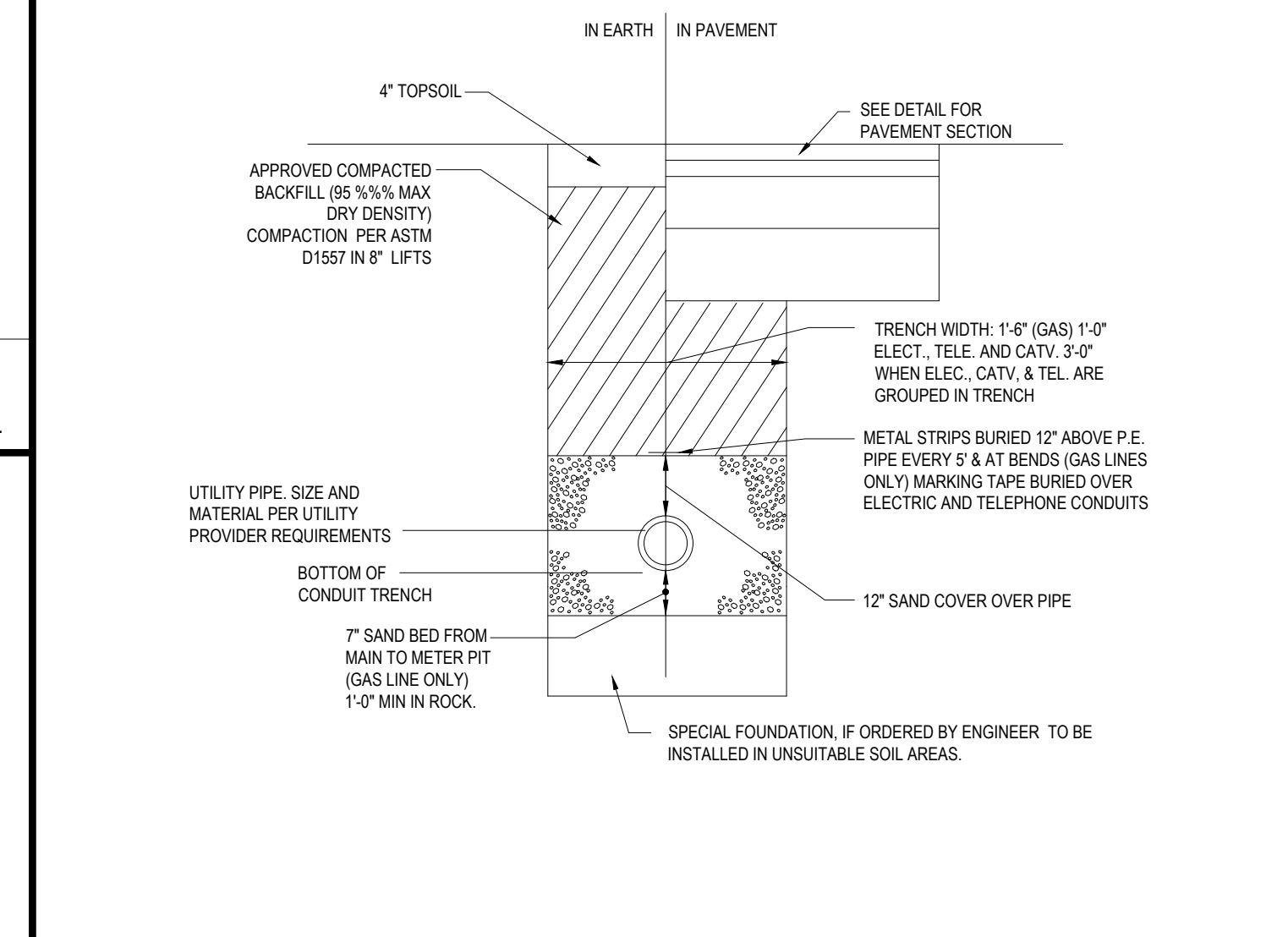
NOTES:
 FULLY MACHINED AND INTERCHANGABLE FRAMES AND COVERS.
 HIGH QUALITY MATERIALS AND WORKMANSHIP. COAL TAR EPOXY PAINTED. NO ROCK COVERS. H-20 LOADING RATE 3 FLANGE FRAMES TO BE USED WITH CURB INLET



RIP-RAP APRON/SLOPE DETAIL

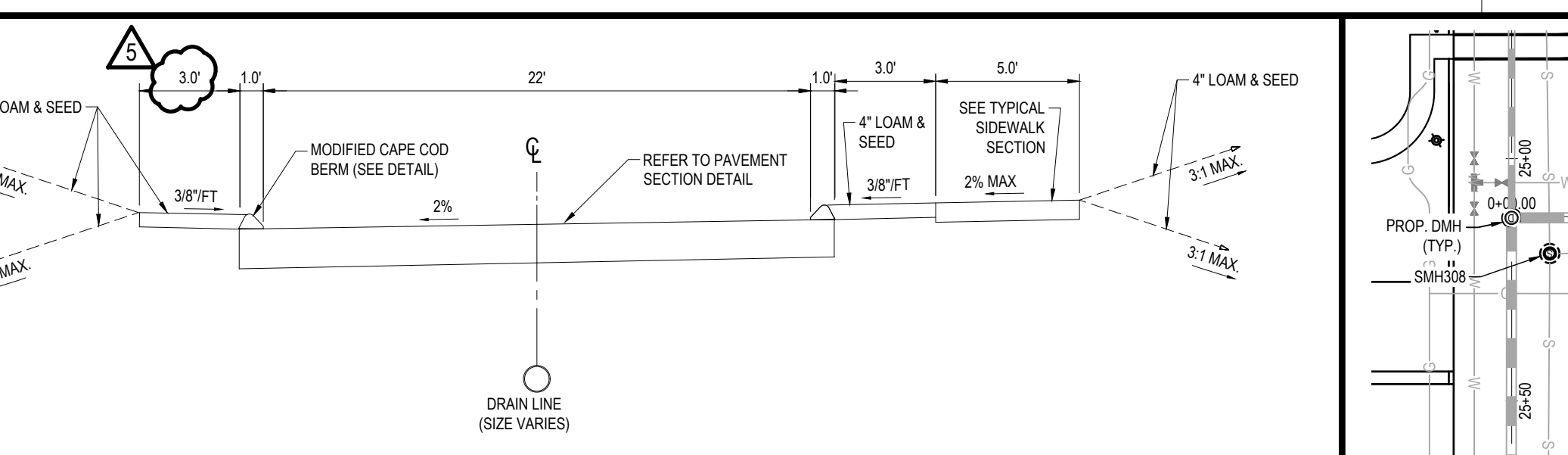
NOTE: CARE SHALL BE TAKEN WHEN PLACING RIP-RAP TO PREVENT ANY DAMAGE TO THE GEOTEXTILE FABRIC.

NOTE: THE CONTRACTOR IS DIRECTED AND RESPONSIBLE TO SLOPE AND/OR SHIELD THE TRENCH EXCAVATION IN ACCORDANCE WITH ALL APPLICABLE OSHA REGULATIONS.



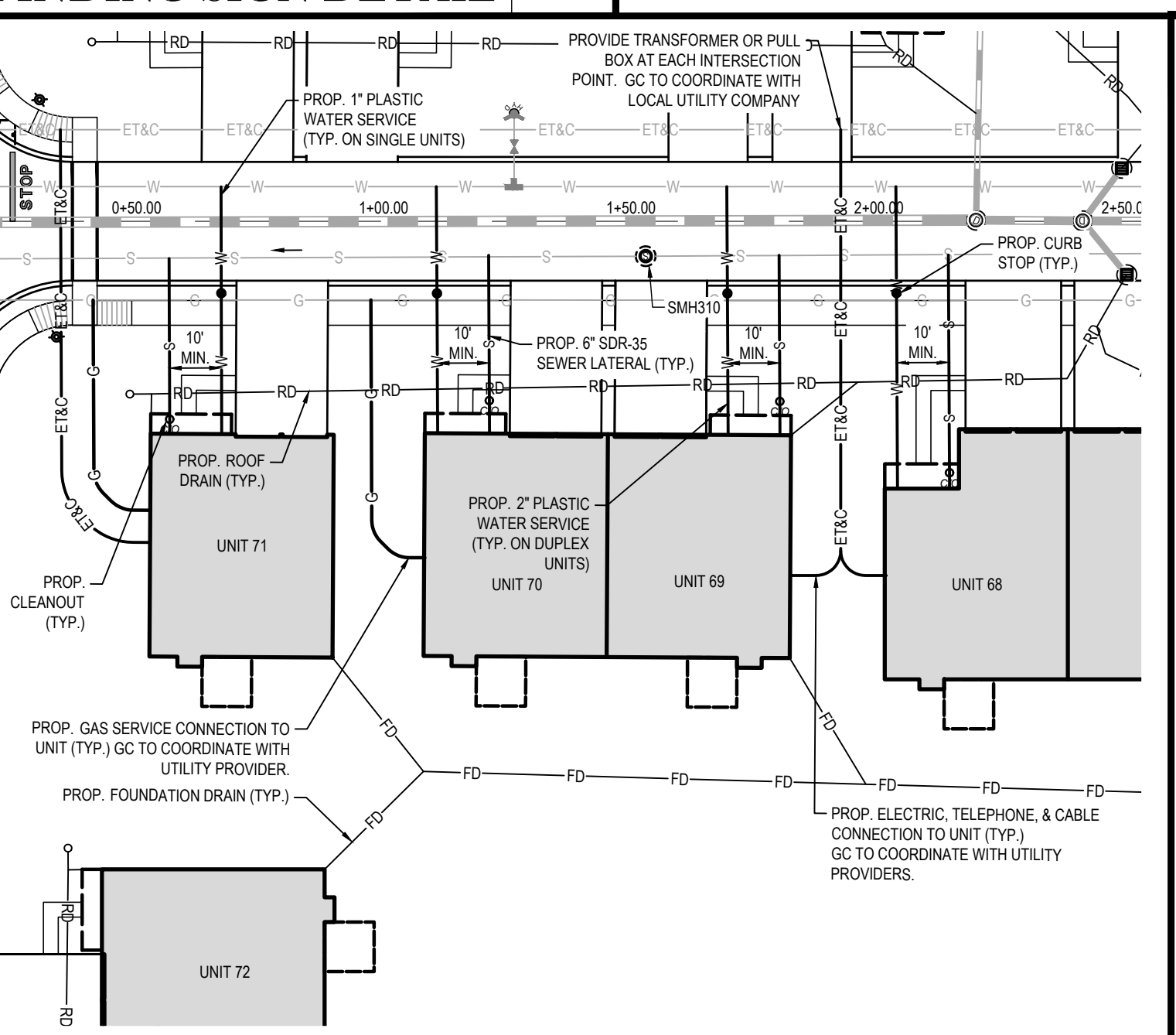
ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL

NOTE: METAL STRIPS BURIED 12" ABOVE P.E. PIPE EVERY 5' & AT BENDS (GAS LINES ONLY) MARKING TAPE BURIED OVER ELECTRICAL AND TELEPHONE CONDUITS

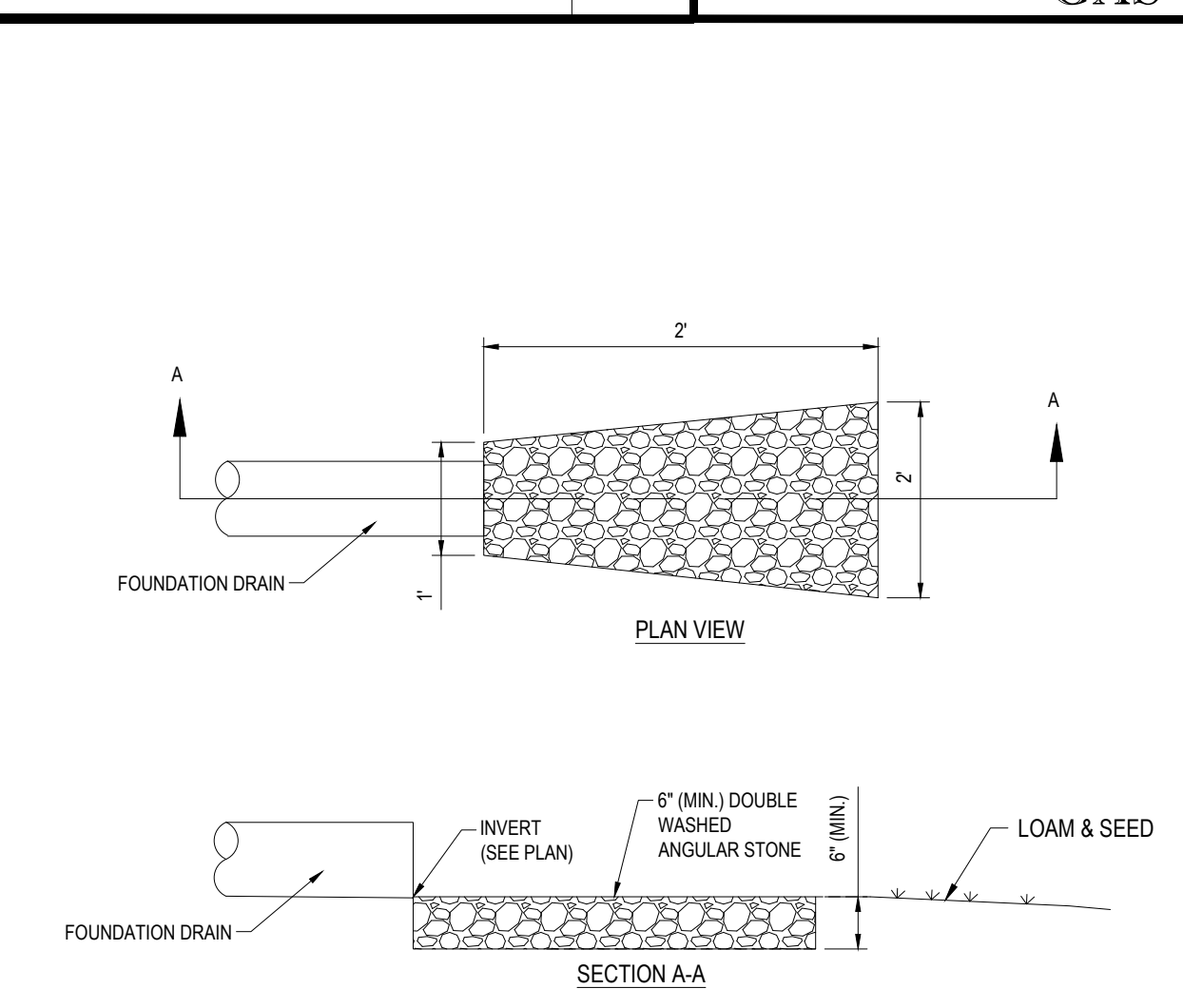


TYPICAL ROADWAY CROSS SECTION BARROWS ROAD EXTENSION

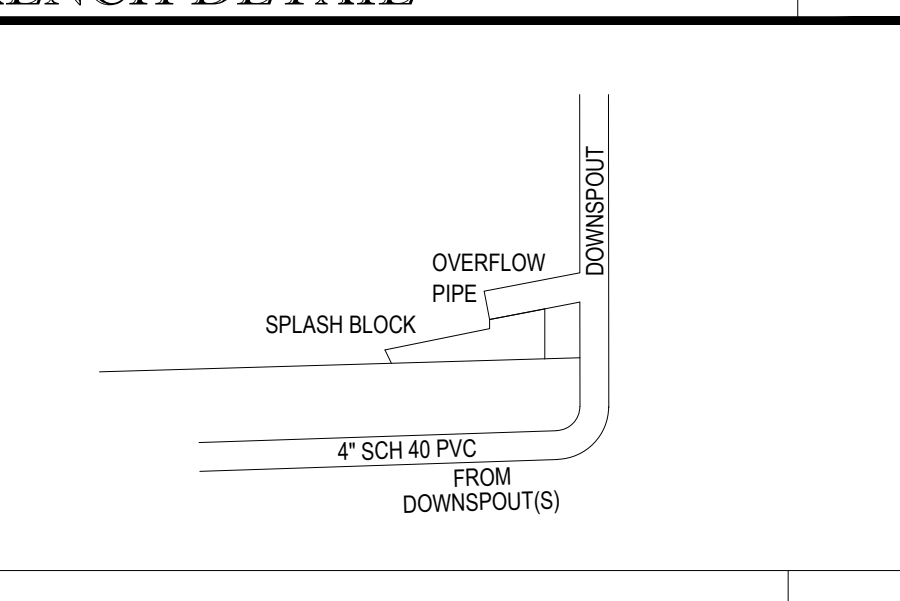
NOTE: 1. SIDEWALK LOCATION VARIES. REFER TO SITE PLANS FOR LOCATIONS ALONG ROADWAYS.



TYPICAL UTILITY SERVICE DETAIL



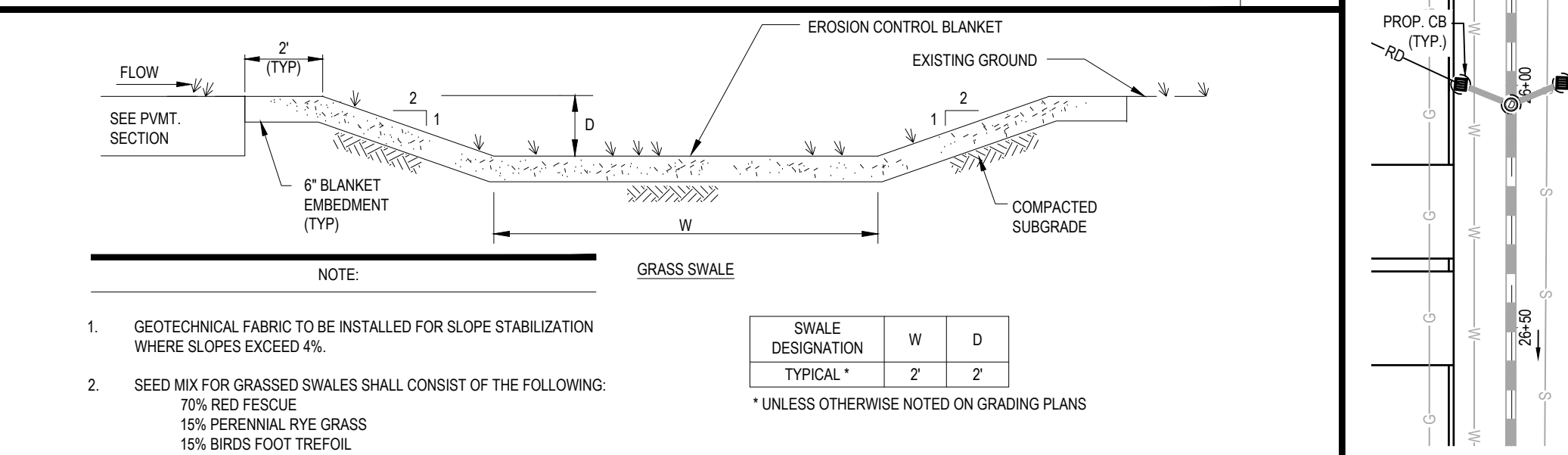
FOUNDATION DRAIN OUTLET PROTECTION DETAIL



DOWNSPOUT DETAIL

CONDITIONALLY APPROVED WORCESTER PLANNING BOARD

DATE _____



GRASSED SWALE

NOTE:
 1. GEOTECHNICAL FABRIC TO BE INSTALLED FOR SLOPE STABILIZATION WHERE SLOPES EXCEED 4%
 2. SEED MIX FOR GRASSED SWALES SHALL CONSIST OF THE FOLLOWING:
 70% RED FESCUE
 15% PERENNIAL RYE GRASS
 15% BIRDS FOOT TREFOL

SWALE DESIGNATION	W	D
TYPICAL*	2'	2'

* UNLESS OTHERWISE NOTED ON GRADING PLANS

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	08/21/20	PEER REVIEW / CITY COMMENTS	AJS	CFD/AS
2	09/09/20	PER CITY STAFF COMMENTS	AJS	NEM
3	11/12/2020	PER CITY STAFF COMMENTS	AJS	NEM
4	04/09/2021	PER CITY STAFF COMMENTS	AJS	JKNM
5	03/07/2024	PB AMENDMENT	CFD	JKNM

811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W171219
 DRAWN BY: AJS/CMC
 CHECKED BY: NEM/JAK
 DATE: 02/22/2020
 CAD ID: W171219_S88_DETAILS

PROPOSED SITE PLAN DOCUMENTS

CAPITAL GROUP
 PROPERTIES

SALISBURY HILL
 MAP #50, LOT #023
 BLOCK CONDO (A.K.A. ACCT. 43389)
 CITY OF WORCESTER
 WORCESTER COUNTY
 MASSACHUSETTS

BOHLER
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

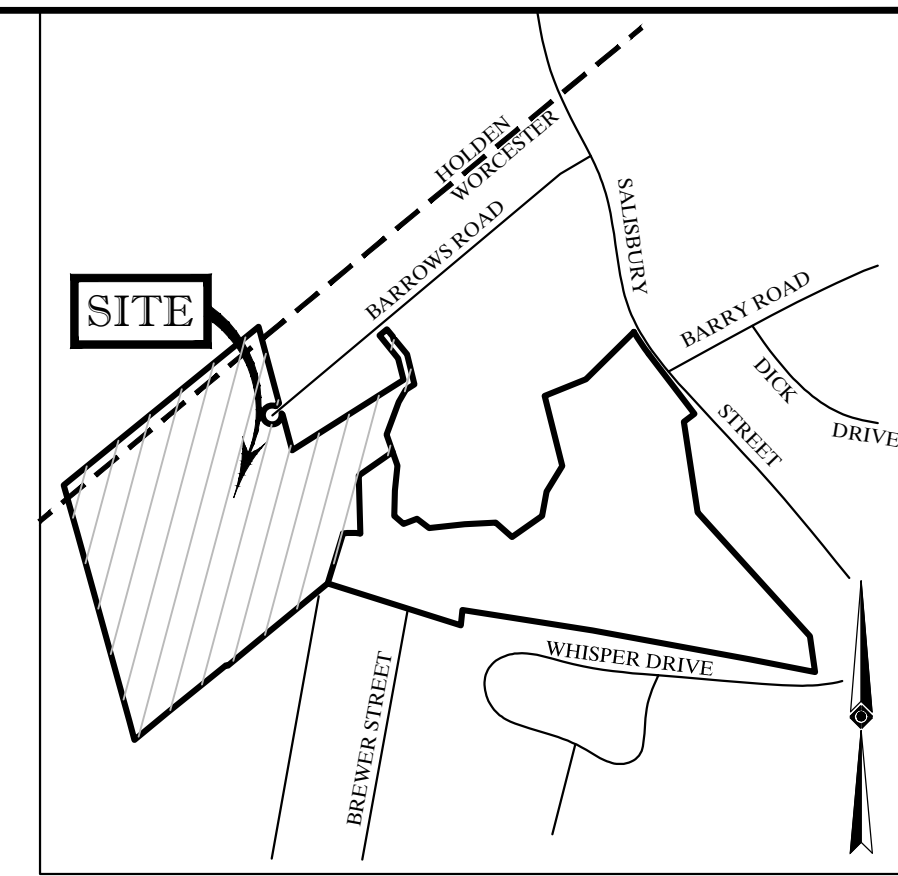
J. KUGACH
 JOHN KUGACH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS
 LICENSE NO. 10457
 DONOR LICENSE NO. 20177
 PHONE: (508) 480-2616
 MOBILE LICENSE NO. 22553

SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C-904

REVISION 5 - 03/07/2024

C:\PROGRAMDATA\BOHLER\32022022\TEMP\AC\PUBLISH_2038\W171219_S88_DETAILS.dwg - LAYOUT: C-904-DET1



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

- REFERENCES:
1. THE TAX ASSESSOR'S MAP OF WORCESTER, WORCESTER COUNTY, MAP 50.
 2. THE TAX ASSESSOR'S MAP OF HOLDEN, WORCESTER COUNTY, MAP 254.
 3. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY MASSACHUSETTS, PANEL 612 OF 1075," MAP NUMBER 25027C0612E, EFFECTIVE DATE JULY 4, 2011.
 4. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY MASSACHUSETTS, PANEL 611 OF 1075," MAP NUMBER 25027C0611E, EFFECTIVE DATE JULY 4, 2011.
 5. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF HOLDEN MASSACHUSETTS, PANEL 15 OF 20," COMMUNITY-PANEL NUMBER 2503090015B, EFFECTIVE DATE JULY 2, 1981.
 6. MAP ENTITLED "PLAN TO SHOW OPEN SPACE EASEMENTS ON LAND IN WORCESTER & HOLDEN, MASSACHUSETTS OWNED BY BAILIN AND ASSOCIATES, INC. WORD BOOK 22952, PAGE 375," PREPARED BY THOMPSON-LISTON ASSOCIATES, INC., DATED MAY 20, 2005, LAST REVISED JUNE 4, 2004, RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 810, PLAN 122, SHEETS 1 THRU 3.
 7. MAP ENTITLED "PLAN OF LAND IN WORCESTER & HOLDEN, MASS. OWNED BY BAILIN AND ASSOCIATES, INC. WORD BOOK 22952, PAGE 375," PREPARED BY THOMPSON-LISTON ASSOCIATES, INC., DATED MAY 3, 2002, LAST REVISED JUNE 25, 2002, RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 786, PLAN 28, SHEETS 1 THRU 3.
 8. MAP ENTITLED "PLAN OF SALISBURY STREET RELOCATION FROM FLAGG STREET TO HOLDEN TOWN LINE 1935," PREPARED BY THE ENGINEERING DEPARTMENT CITY OF WORCESTER MASS., DATED 1935, FILED AS LAYOUT H-23.
 9. MAP ENTITLED "PLAN OF LAND IN WORCESTER, MASSACHUSETTS (WORCESTER COUNTY)," PREPARED BY STAMSKI AND MCNARY, INC., DATED FEBRUARY 27, 1997, FILED AS LAYOUT H-11245-3.
 10. MAP ENTITLED "LOCATION PLAN: WHISPER DRIVE STA. 0 + 0.11 + 16.07," PREPARED BY THOMPSON-LISTON ASSOCIATES, INC., DATED JANUARY 29, 1988, FILED AS LAYOUT H-11182.
 11. MAP ENTITLED "SINAI HILL DEVELOPMENT DEFINITIVE PLAN OF LOTS IN WORCESTER, MASS. FOR H.A.E., INC." PREPARED BY THOMPSON-LISTON ASSOCIATES, INC., DATED MAY 10, 1985, RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 544, PAGE 46, SHEETS 1 THRU 3.
 12. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND 727 SALISBURY STREET & BARROWS ROAD," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JANUARY 3, 2019.

- NOTES:
1. PROPERTY KNOWN AS LOT 2-01 ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS; MAP NO. 50, AND PROPERTY KNOWN AS LOT 8 AS SHOWN ON THE TOWN OF HOLDEN MAP NO. 254.
 2. LAND IN WORCESTER = 3,868,253 SQUARE FEET OR 84.212 ACRES
LAND IN HOLDEN = 83,107 SQUARE FEET OR 1.908 ACRES
TOTAL AREA = 3,751,360 SQUARE FEET OR 86.120 ACRES.
 3. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 5. BY GRAPHIC PLOTTING THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #3, #4, AND IN FLOOD HAZARD ZONE C (AREAS OF MINIMAL FLOODING (NO SHADING) PER REF. #5).
 6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
 7. TEMPORARY BENCH MARKS SET:
TBM-A: SPIKE SET. ELEVATION = 900.56.
TBM-B: SPIKE SET. ELEVATION = 859.63.
 8. PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 9. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
 10. THE TOPOGRAPHY AND WETLAND FLAGS WERE DERIVED FROM FIELD SURVEY CONDUCTED IN NOVEMBER OF 2018 AND JANUARY OF 2019.
 11. DEPARTMENT OF ENVIRONMENTAL PROTECTION FIELD DATA SHEETS WERE PREPARED AT THE FOLLOWING WETLAND FLAG LOCATIONS: C18, C27, C46, C55, C77, F19, F28 AND F37.

PROPERTY OWNER INFORMATION
(WORCESTER) MAP 50, BLOCK 23, LOT 2-01 SALISBURY HILL CONDOMINIUM BOOK 33936, PAGE 46 (MASTER DEED)
(HOLDEN) MAP 254, LOT 8 (HOLDEN) MAP 254, LOT 8 BOOK 48209, PAGE98 (PROPERTY DEED)

SEE SHEETS 2 THRU 6 FOR TOPOGRAPHIC DETAIL

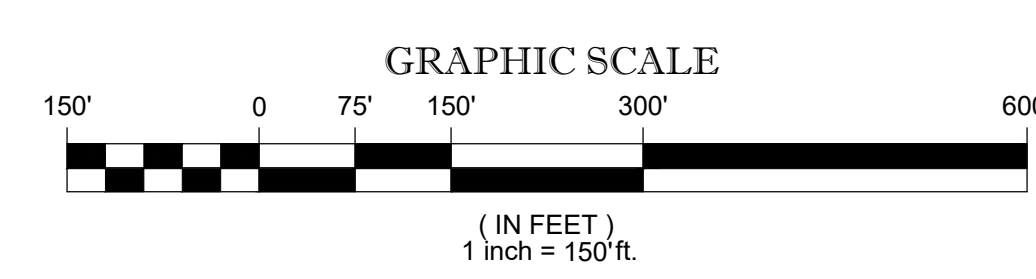
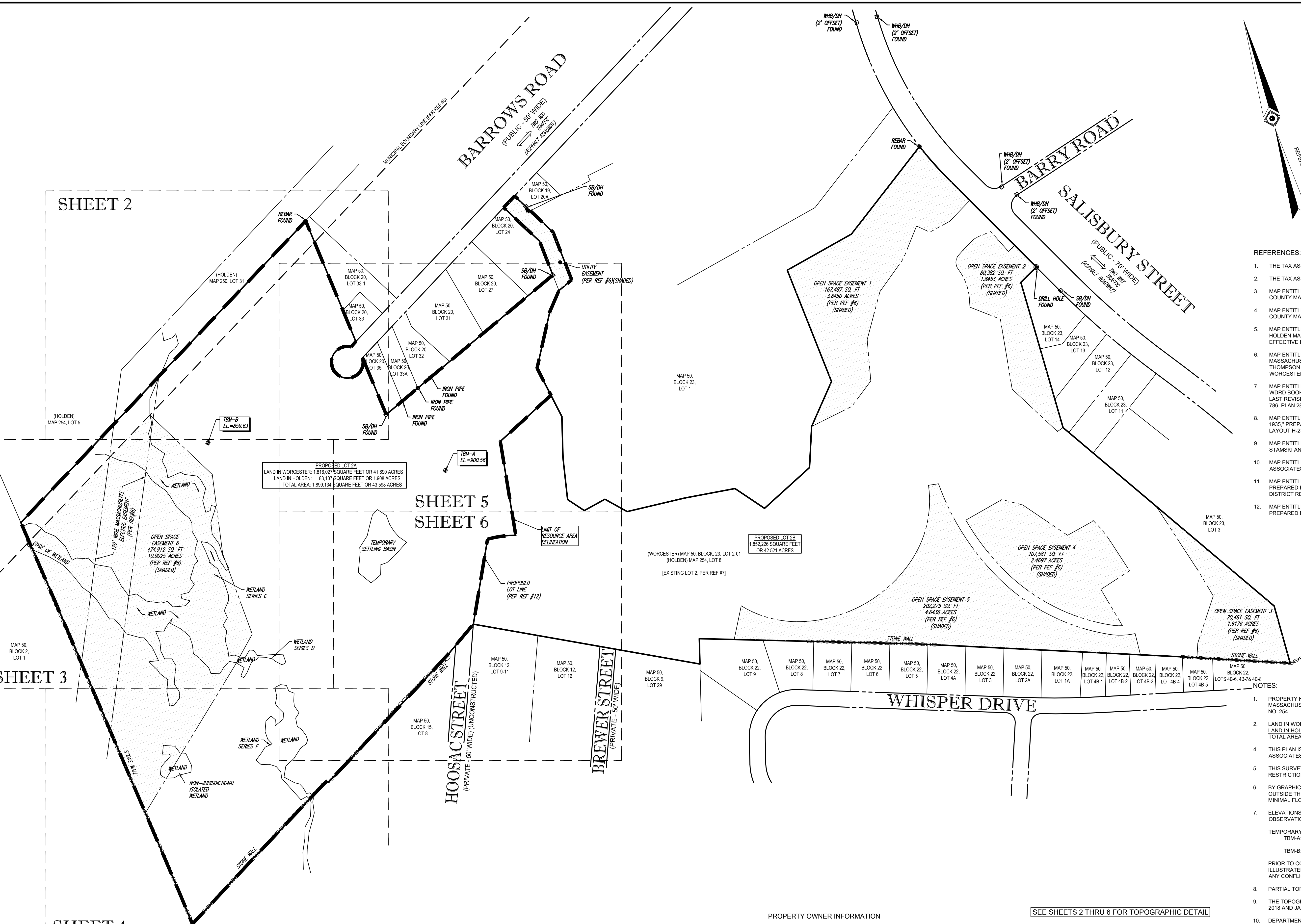
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.
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GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

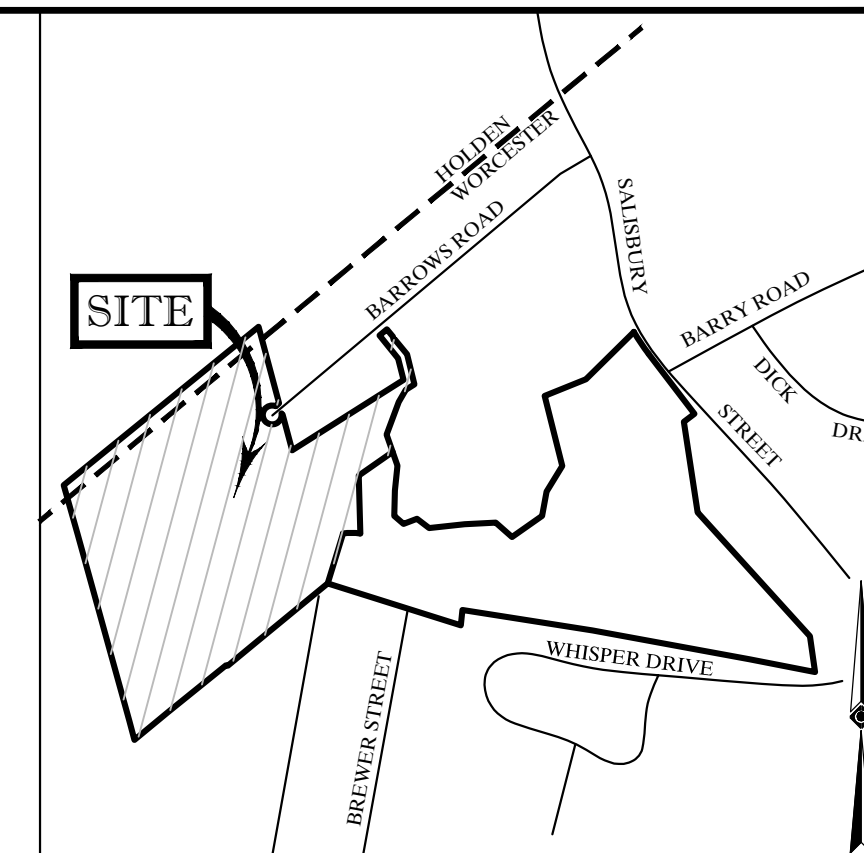
FIELD DATE 11-30-2018	BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY			
FIELD BOOK NO. 18-14 MA	727 SALISBURY STREET & BARROWS ROAD			
FIELD BOOK PGS. 70	MAP 50, BLOCK 23, LOT 2-01 (WORCESTER)			
FIELD CREW T.M./T.O.	MAP 254, LOT 8 (HOLDEN)			
DRAWN: D.L.M.	CITY OF WORCESTER & TOWN OF HOLDEN			
REVIEWED: J.R.Z.	WORCESTER COUNTY			
	COMMONWEALTH OF MASSACHUSETTS			
	ALBANY, NY 5183175010 CHALFONT, PA 315712900 MANHATTAN, NY 6467800411 SOUTH BOKROUGHH, MA 01772 WARRREN, NJ 0686820999			
APPROVED: G.L.H.	DATE 12-18-2018	SCALE 1"=150'	FILE NO. 03-170314-00	DWG. NO. 1 OF 6

1	ADDITIONAL TOPOGRAPHIC AND WETLAND INFORMATION	T.M.	D.L.M.	G.L.H.	01-17-2019
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

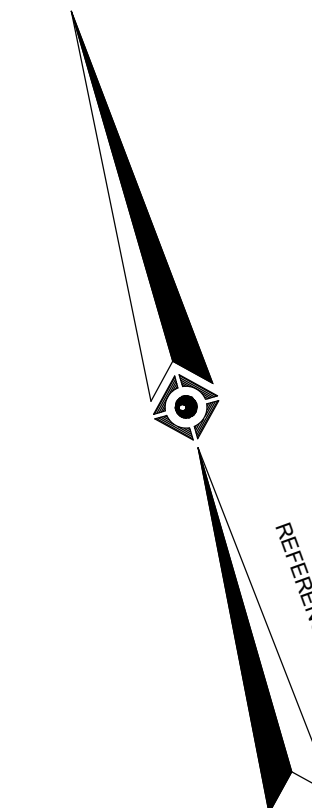


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SHEET 2



LOCUS MAP
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NOT TO SCALE



LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING GUTTER ELEVATION
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- DRAINAGE/STORM MANHOLE
- SANITARY/SEWER MANHOLE
- CATCH BASIN OR INLET
- DELINEATION FLAG
- STONE BOUND W/DRILL HOLE
- GRATE ELEVATION
- WETLAND AREA

SEE SHEET 1 OF 6 FOR NOTES AND REFERENCES

No.	ADDITIONAL TOPOGRAPHIC AND WETLAND INFORMATION	T.M.	D.L.M.	G.L.H.	01-17-2019
	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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1-17-19
DATE

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 11-30-2018
 FIELD BOOK NO.: 18-14 MA
 FIELD BOOK PG.: 70

BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
 727 SALISBURY STREET & BARROWS ROAD
 MAP 50, BLOCK 23, LOT 2-01 (WORCESTER)
 MAP 254, LOT 8 (HOLDEN)
 CITY OF WORCESTER & TOWN OF HOLDEN
 WORCESTER COUNTY
 COMMONWEALTH OF MASSACHUSETTS

FIELD CREW T.M./T.O.		CONTROL POINT ASSOCIATES, INC.			
DRAWN: D.L.M.		352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.5000 - 508.948.3003 FAX			
REVIEWED: J.R.Z.		APPROVED: G.L.H.	DATE 12-18-2018	SCALE 1"=40'	FILE NO. 03-170314-00

(HOLDEN)
MAP 254, LOT 5
NF LANDS OF
WHITE OAK LAND CONSERVATION SOCIETY, INC.
BK. 51909, PG. 39

(HOLDEN)
MAP 250, LOT 31
NF LANDS OF
MASSACHUSETTS ELECTRIC COMPANY
BK. 4365, PG. 253

MAP 50,
BLOCK 20,
LOT 33-1
NF LANDS OF
JAMES T. WHITE &
ALISON N. WHITE
BK. 59295, PG. 293

MAP 50,
BLOCK 20,
LOT 35
NF LANDS OF
TERENCE F. CARROLL
BK. 12470, PG. 224

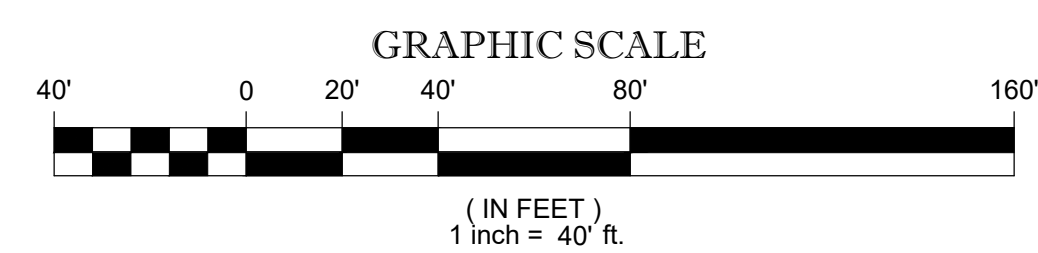
MAP 50,
BLOCK 20,
LOT 35
NF LANDS OF
WILLIAM S. BURWICK &
DEBORAH E. BURWICK
BK. 18031, PG. 110

SHEET 2
SHEET 3

SHEET 2
SHEET 3

SHEET 5

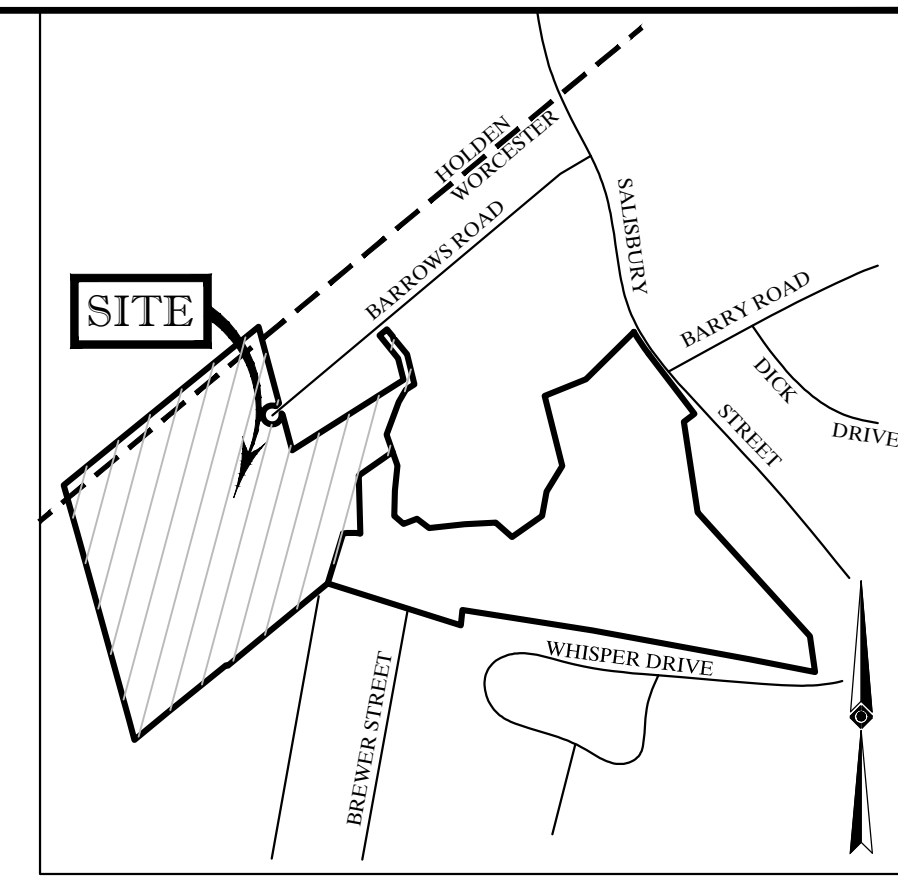
SHEET 5



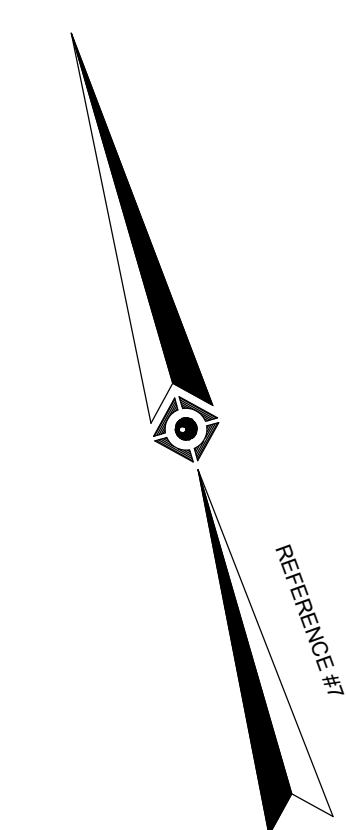
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SHEET 2
SHEET 3

(HOLDEN)
MAP 254, LOT 5
NF LANDS OF
WHITE OAK LAND CONSERVATION SOCIETY, INC.
BK. 51909, PG. 39



LOCUS MAP
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NOT TO SCALE



LEGEND

- - - 124 - - - EXISTING CONTOUR
- - - 125 - - - EXISTING SPOT ELEVATION
- X 123.45 EXISTING TOP OF CURB ELEVATION
- X 122.95 EXISTING GUTTER ELEVATION
- UPLP UTILITY POLE/LIGHT POLE
- GW GUY WIRE
- DMH DRAINAGE/STORM MANHOLE
- SMH SANITARY/SEWER MANHOLE
- CB CATCH BASIN OR INLET
- DEL DELINEATION FLAG
- SBWH STONE BOUND W/DRILL HOLE
- GRT GRATE ELEVATION
- WETLAND AREA
- FIELD DATA SHEET PREPARED

SEE SHEET 1 OF 6 FOR NOTES AND REFERENCES

No.	DESCRIPTION OF REVISION	T.M.	D.L.M.	G.L.H.	01-17-2019
1	ADDITIONAL TOPOGRAPHIC AND WETLAND INFORMATION				

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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1-17-19
DATE

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 11-30-2018
FIELD BOOK NO: 18-14 MA
FIELD BOOK PGS: 70

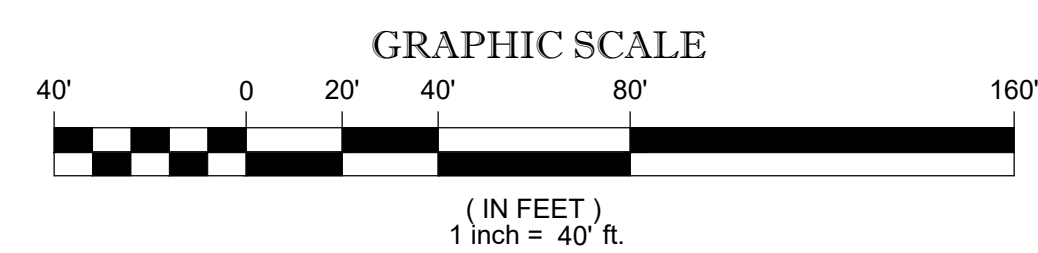
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
727 SALISBURY STREET & BARROWS ROAD
MAP 50, BLOCK 23, LOT 2-01 (WORCESTER)
MAP 254, LOT 8 (HOLDEN)
CITY OF WORCESTER & TOWN OF HOLDEN
WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

FIELD CREW: T.M./T.O.
DRAWN: D.L.M.
REVIEWED: J.R.Z.

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTH BOKROUGH, MA 01772
508.948.5000 - 508.948.3003 FAX

ALBANY, NY 518317000
CHALFONT, PA 315712900
MANHATTAN, NY 646780411
MILWAUKEE, WI 6098572999
WARREN, NJ 9086680999

APPROVED:	DATE:	SCALE:	FILE NO.:	DWG. NO.:
G.L.H.	12-18-2018	1"=40'	03-170314-00	3 OF 6



SHEET 3
SHEET 4

SHEET 3
SHEET 4

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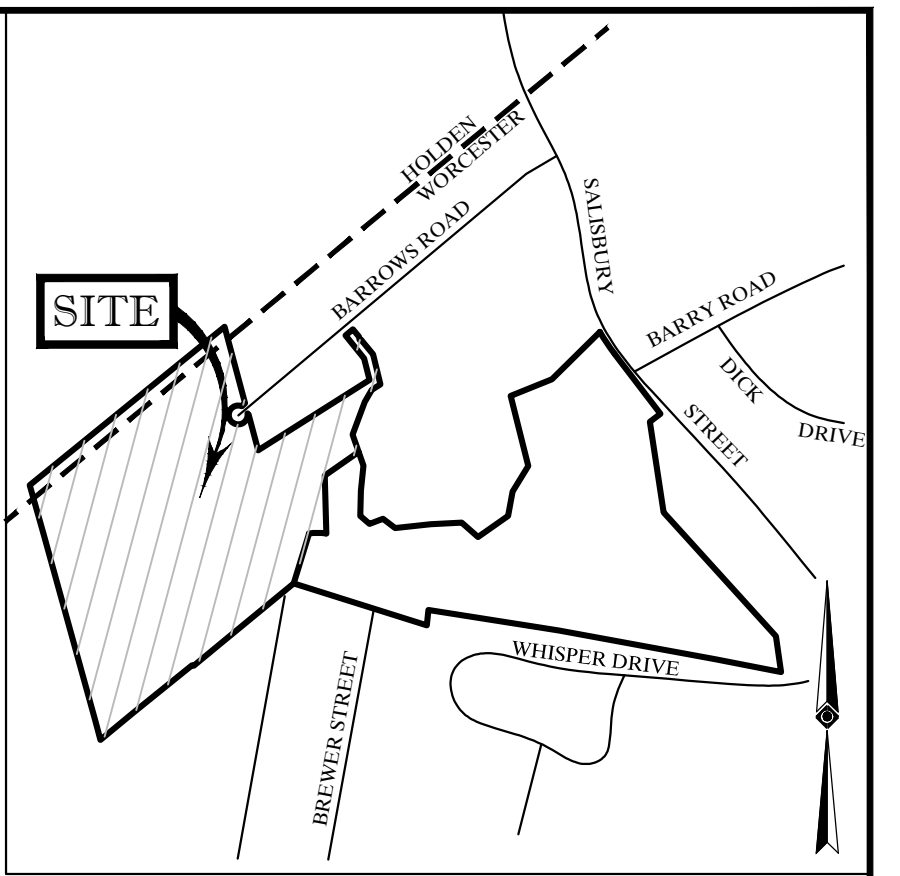
MAP 50,
BLOCK 2,
LOT 1
NF LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 3575, PG. 518

SHEET 3
SHEET 4

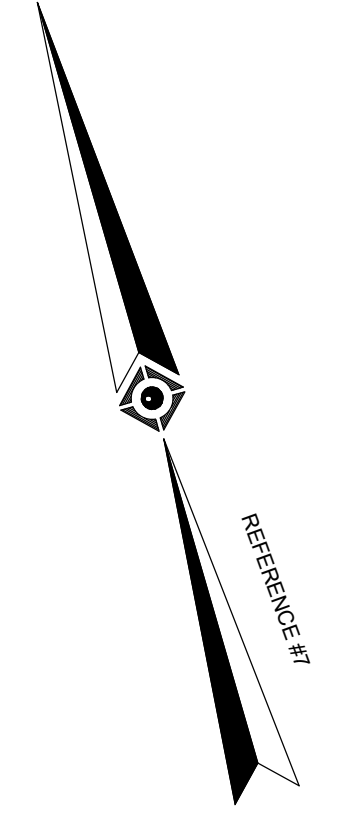


MAP 50,
BLOCK 2,
LOT 1
NE LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 3575, PG. 518

MAP 50,
BLOCK 15,
LOT 8
NE LANDS OF
WORCESTER CONSERVATION COMMISSION
BK. 5103, PG. 382



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE



LEGEND

--- 124 ---	EXISTING CONTOUR
--- 125 ---	EXISTING CONTOUR
X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXISTING TOP OF CURB ELEVATION
X G 122.95	EXISTING GUTTER ELEVATION
UPLP	UTILITY POLE/LIGHT POLE
GW	GUY WIRE
DMH	DRAINAGE/STORM MANHOLE
SMH	SANITARY/SEWER MANHOLE
CB	CATCH BASIN OR INLET
△	DELINEATION FLAG
SBCH	STONE BOUND w/DRILL HOLE
GRT	GRATE ELEVATION
▽	WETLAND AREA
△	FIELD DATA SHEET PREPARED

SEE SHEET 1 OF 6 FOR NOTES AND REFERENCES

1	ADDITIONAL TOPOGRAPHIC AND WETLAND INFORMATION	T.M.	D.L.M.	G.L.H.	01-17-2019
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 11-30-2018
FIELD BOOK NO.: 18-14 MA
FIELD BOOK PGS.: 70

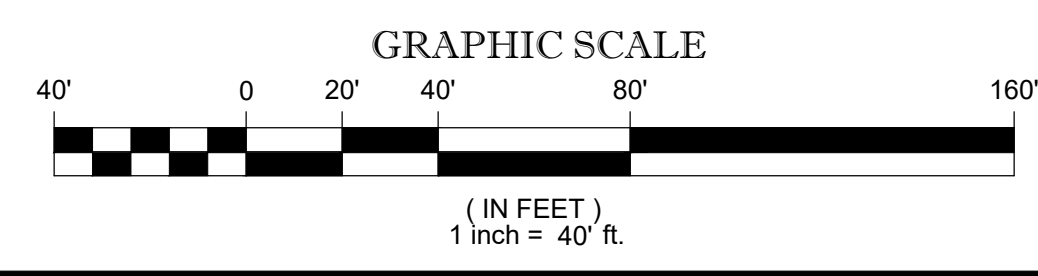
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
727 SALISBURY STREET & BARROWS ROAD
MAP 50, BLOCK 23, LOT 2-01 (WORCESTER)
MAP 254, LOT 8 (HOLDEN)
CITY OF WORCETSER & TOWN OF HOLDEN
WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

FIELD CREW: T.M./T.O.
DRAWN: D.L.M.
REVIEWED: J.R.Z.

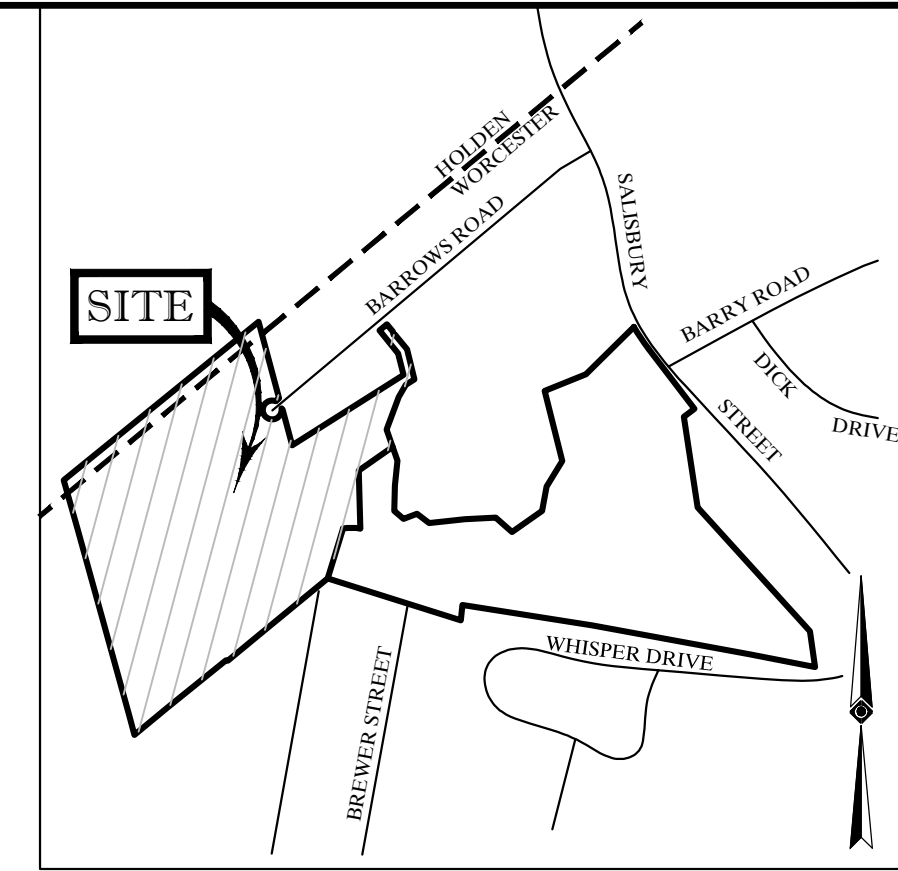
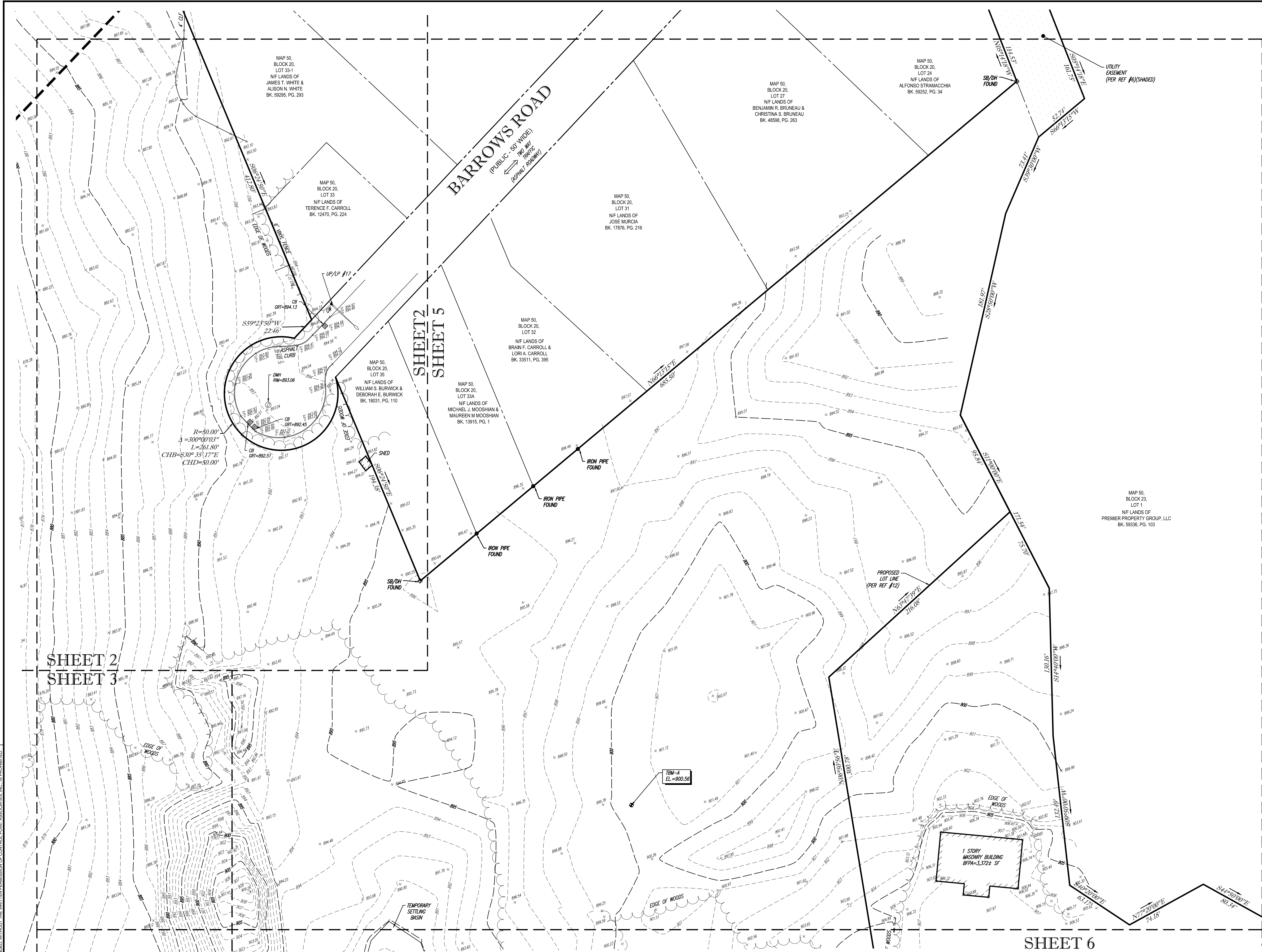
CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTH BOKROUGH, MA 01772
508.948.5000 - 508.948.3003 FAX

ALBANY, NY 5183175010
CHALFONT, PA 3157129800
MANHATTAN, NY 6467800411
MT LAUREL, NJ 6098572999
WARREN, NJ 9086680999

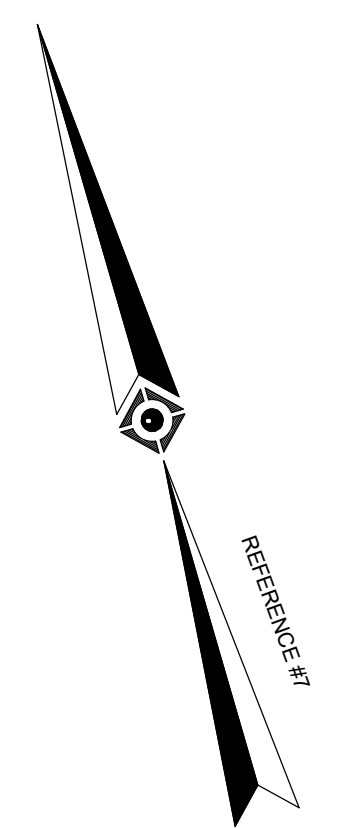
APPROVED:	G.L.H.	DATE:	12-18-2018	SCALE:	1"=40'	FILE NO.:	03-170314-00	DWG. NO.:	4 OF 6
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LOCUS MAP
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NOT TO SCALE



LEGEND

	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING TOP OF CURB ELEVATION
	EXISTING GUTTER ELEVATION
	UTILITY POLE/LIGHT POLE
	GUY WIRE
	DRAINAGE/STORM MANHOLE
	SANITARY/SEWER MANHOLE
	CATCH BASIN OR INLET
	DELINEATION FLAG
	STONE BOUND W/DRILL HOLE
	GRATE ELEVATION
	BUILDING
	BUILDING FOOTPRINT AREA
	WETLAND AREA
	FIELD DATA SHEET PREPARED

SEE SHEET 1 OF 6 FOR NOTES AND REFERENCES

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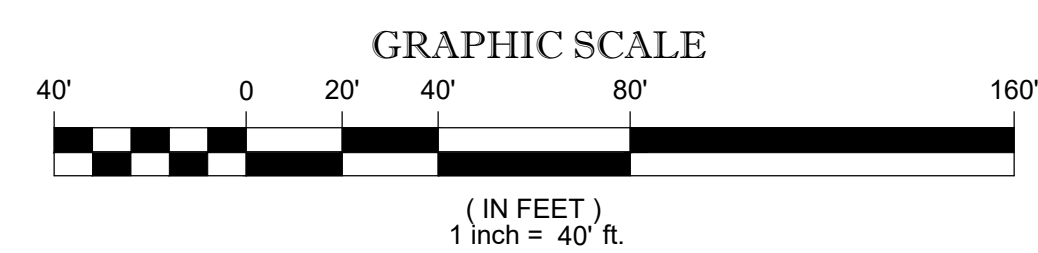


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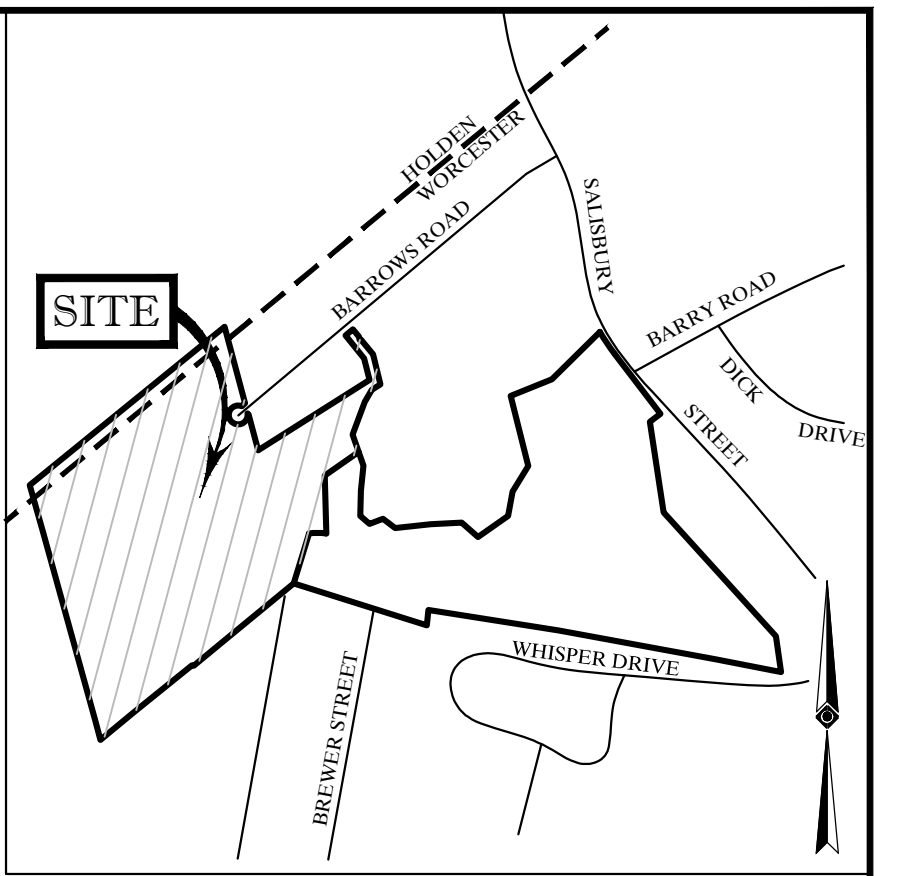
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FIELD CREW T.M./T.O.	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.5000 - 508.948.3003 FAX ALBANY, NY 5183175010 CHALFONT, PA 3157129800 MANHATTAN, NY 6467800411 M'LAUREL, NJ 6096572999 WARREN, NJ 9086680999	APPROVED	DATE	SCALE	FILE NO.	DWG. NO.
DRAWN: D.L.M.		G.L.H.	12-18-2018	1"=40'	03-170314-00	5 OF 6
REVIEWED: J.R.Z.						

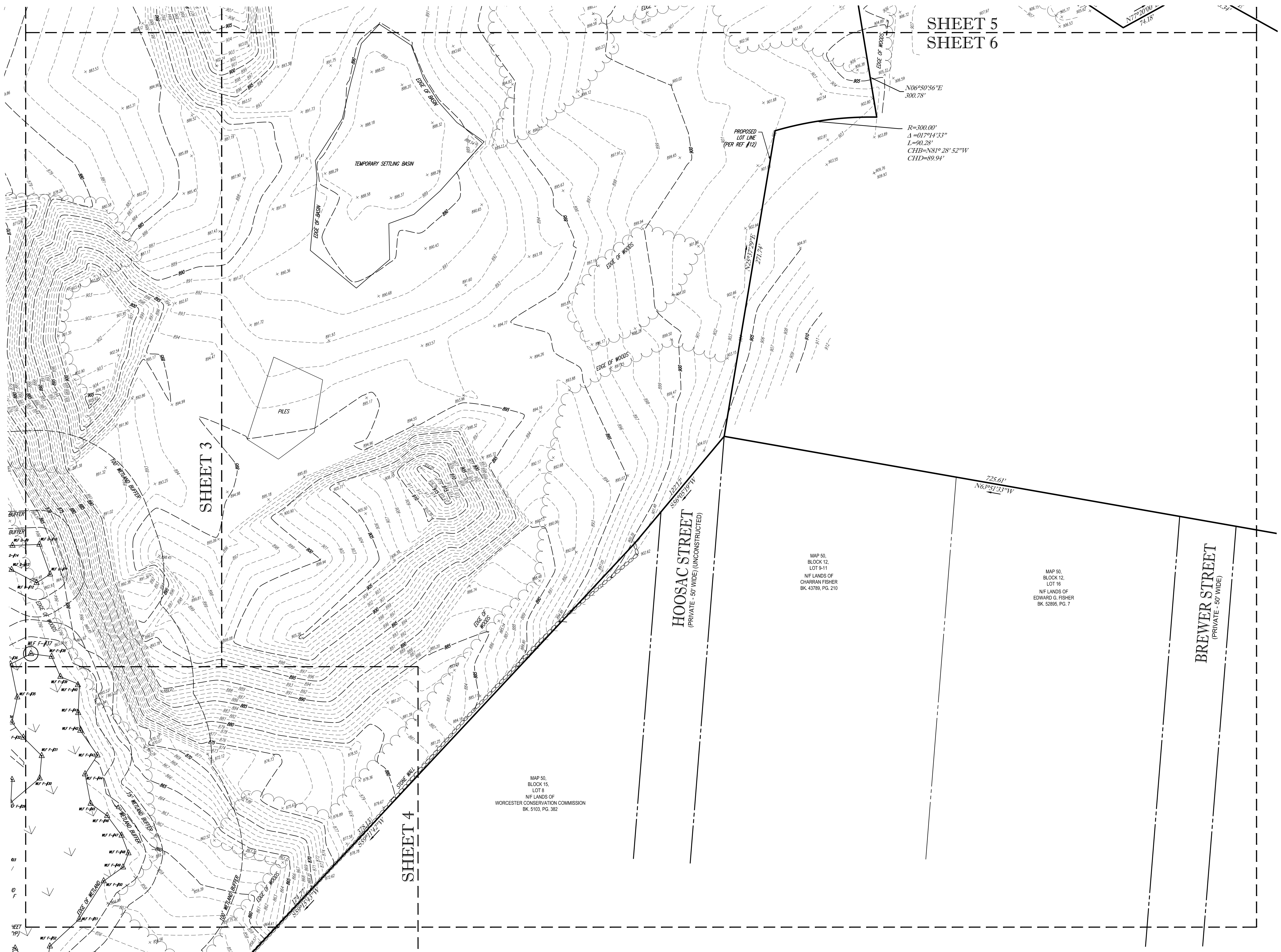
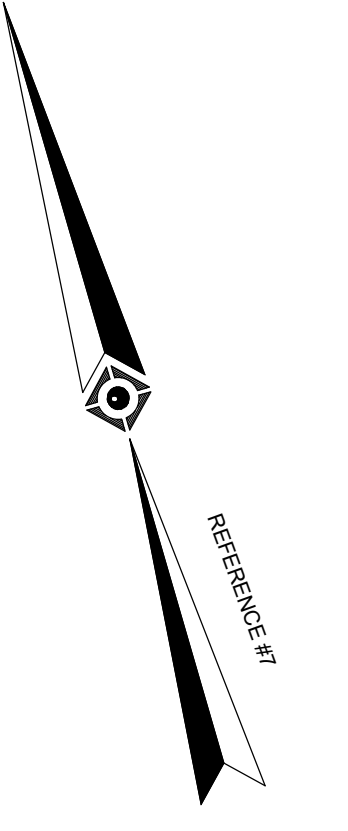


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SHEET 5
SHEET 6



LOCUS MAP
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NOT TO SCALE



LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING GUTTER ELEVATION
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- DMH DRAINAGE/STORM MANHOLE
- SMH SANITARY/SEWER MANHOLE
- CB CATCH BASIN OR INLET
- DELINEATION FLAG
- BUILDING
- BFFA BUILDING FOOTPRINT AREA
- SBCH STONE BOUND w/DRILL HOLE
- GRT GRATE ELEVATION
- WETLAND AREA
- FIELD DATA SHEET PREPARED

SEE SHEET 1 OF 6 FOR NOTES AND REFERENCES

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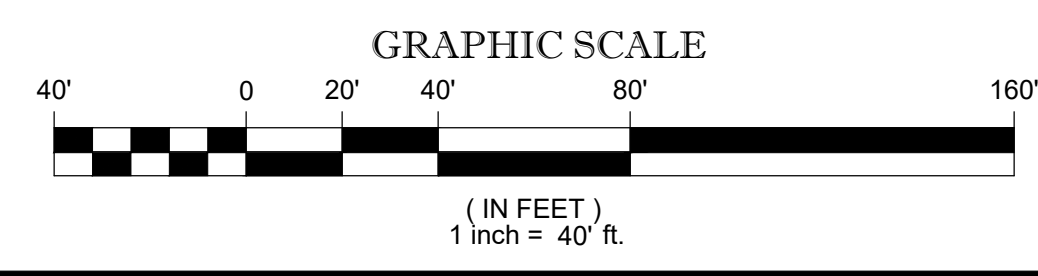
1-17-19
DATE

GERRY L. HOLDRIGHT, PLS
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DRAWN: D.L.M.		352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX			
REVIEWED: J.R.Z.	APPROVED: G.L.H.	DATE 12-18-2018	SCALE 1"=40'	FILE NO. 03-170314-00	DWG. NO. 6 OF 6



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